

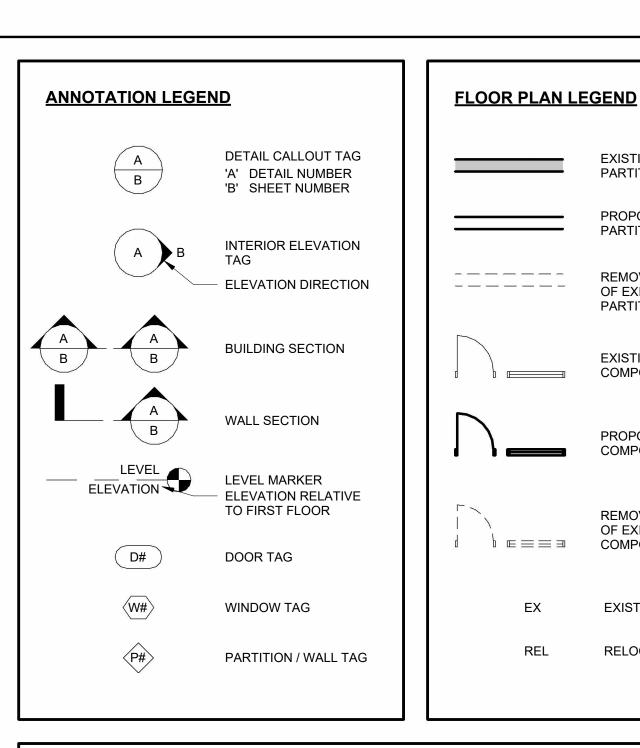
INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

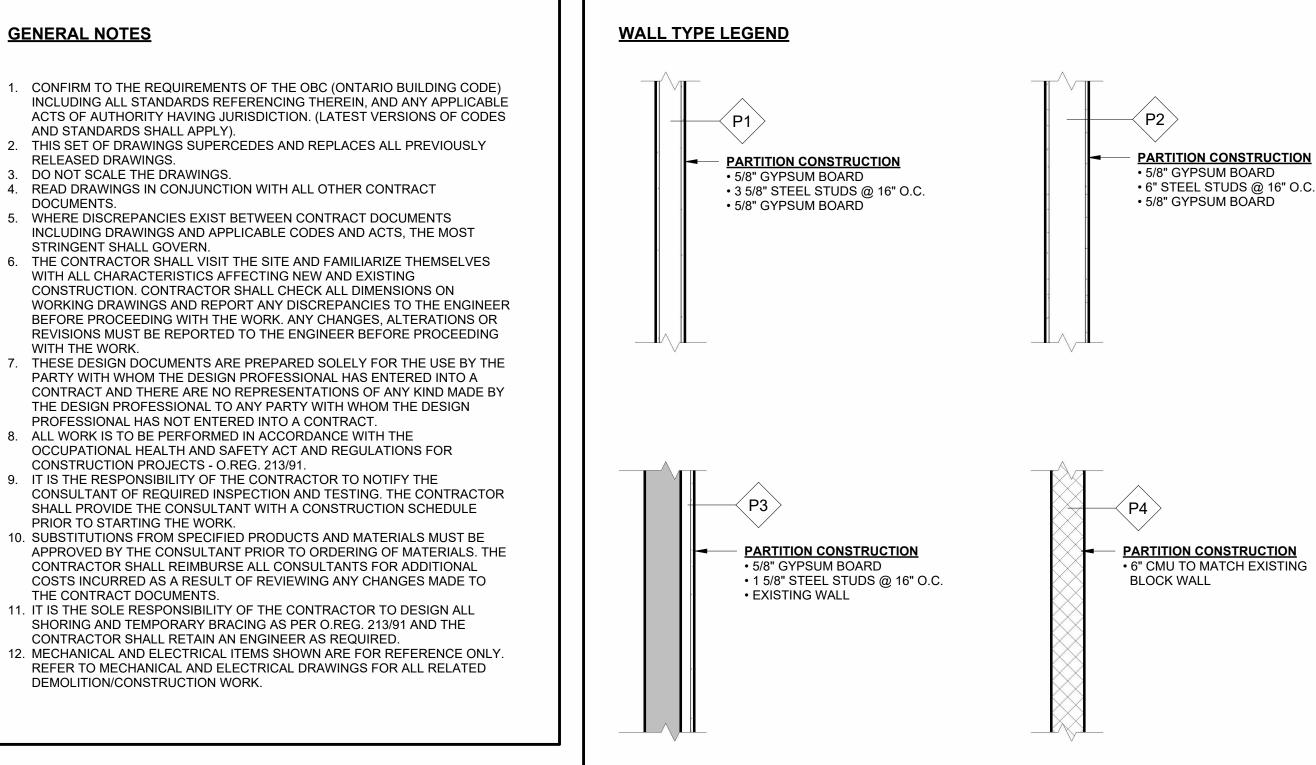
TITLE & KEY PLAN

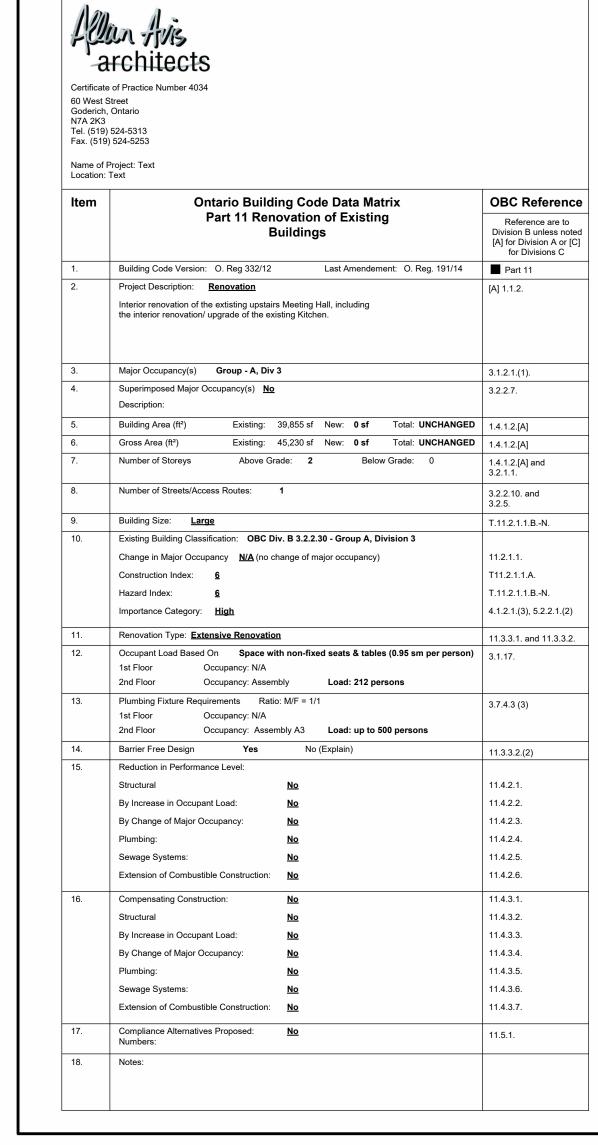
TENDER & PERMIT

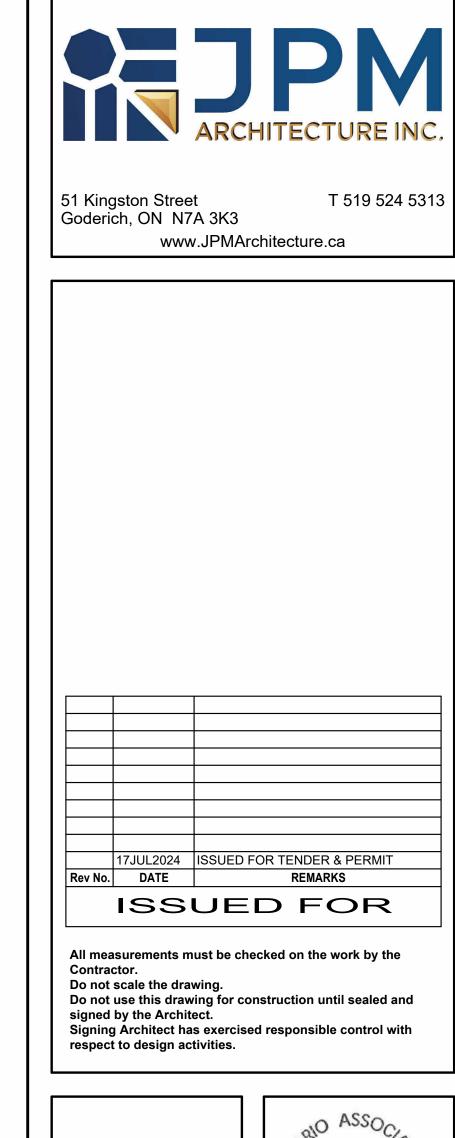
As indicated

a - Detail number b - Location drawing











INTERIOR RENOVATIONS





WD

WOOD

WIC WALK-IN-CLOSET

WWM WELDED WIRE MESH

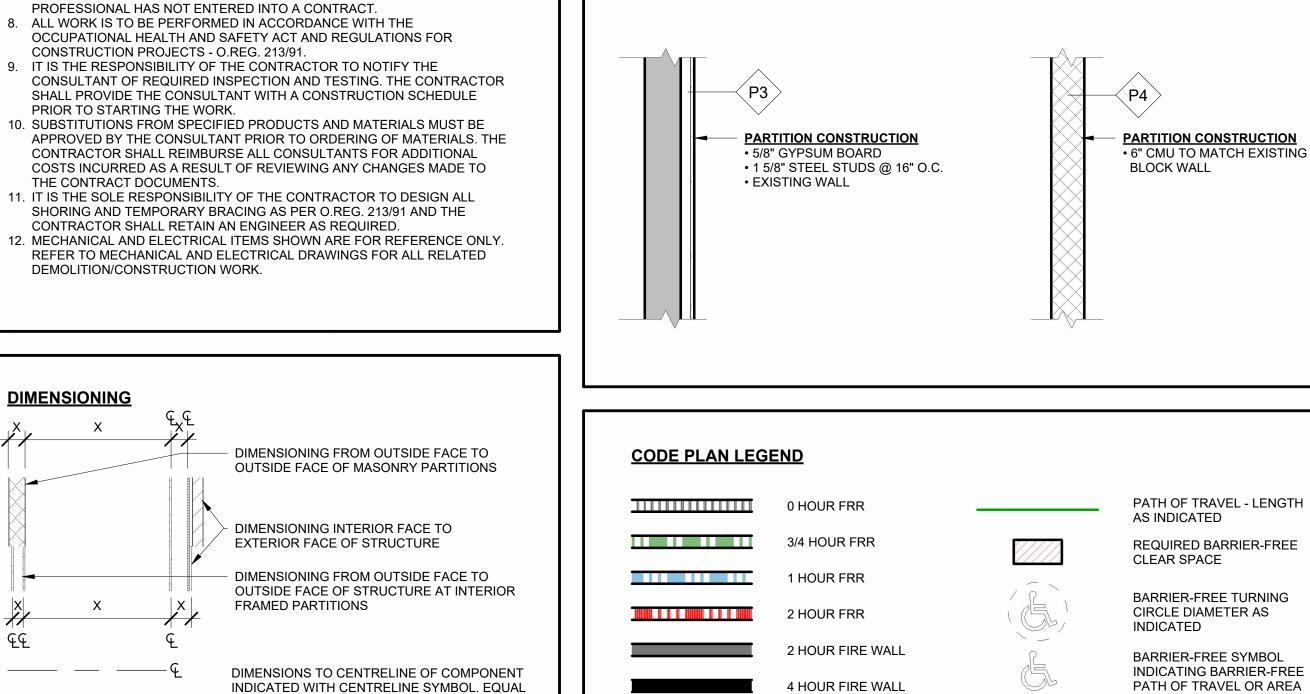
LD

LIN

LEAD

LINEAR

LINO LINOLEUM



GENERAL NOTES

DOCUMENTS.

WITH THE WORK.

 $\mathcal{L}\mathcal{L}$

AND STANDARDS SHALL APPLY).

DO NOT SCALE THE DRAWINGS.

STRINGENT SHALL GOVERN.

4. READ DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT

WITH ALL CHARACTERISTICS AFFECTING NEW AND EXISTING

WHERE DISCREPANCIES EXIST BETWEEN CONTRACT DOCUMENTS

CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON

DIMENSIONS NOTED BY "EQ".

RELEASED DRAWINGS.

EXISTING WALL OR

PARTITION TO REMAIN

PROPOSED WALL OR

REMOVE AND DISPOSE

OF EXISTING WALL OR

EXISTING BUILDING

PROPOSED BUILDING

REMOVE AND DISPOSE

OF EXISTING BUILDING

RELOCATE EXISTING

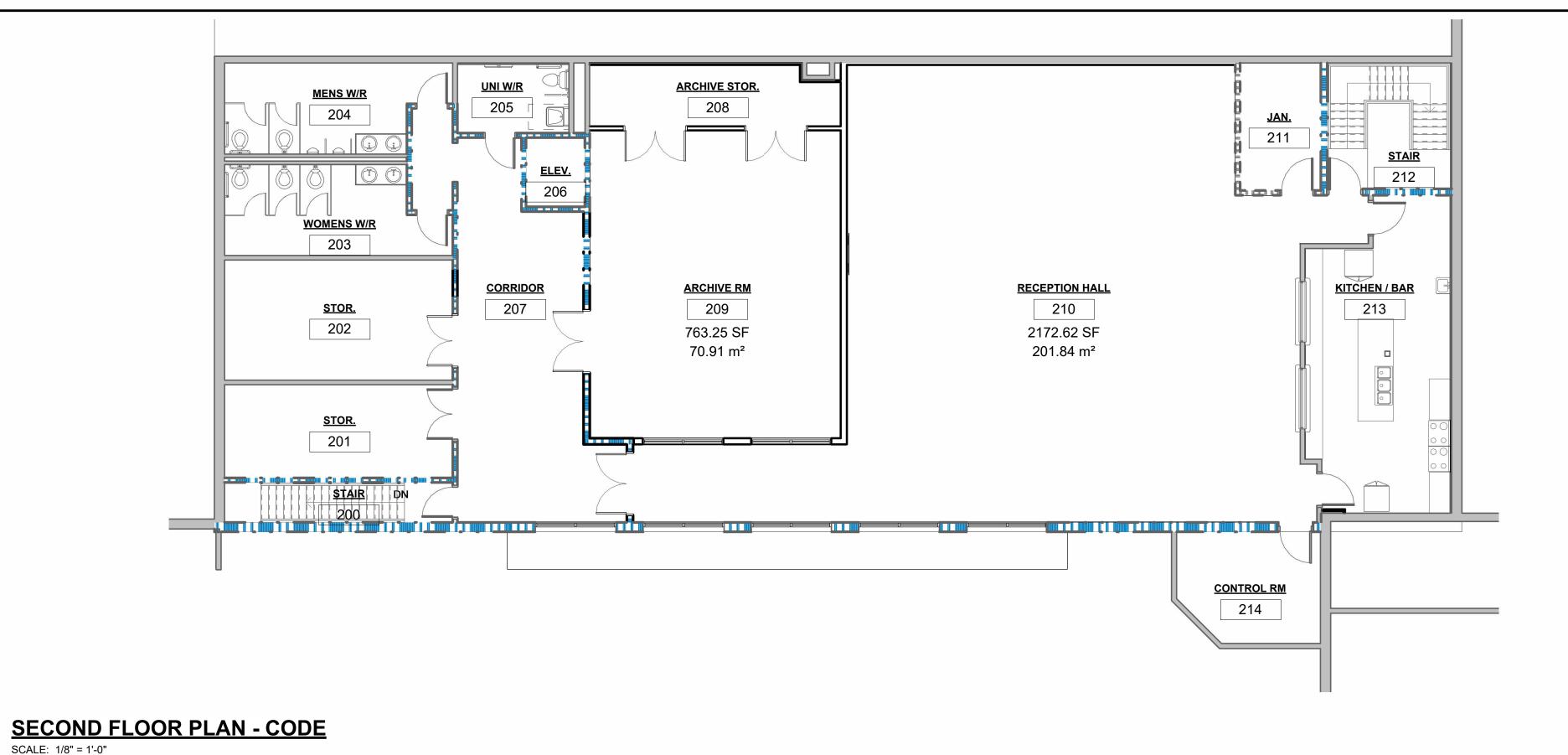
COMPONENTS

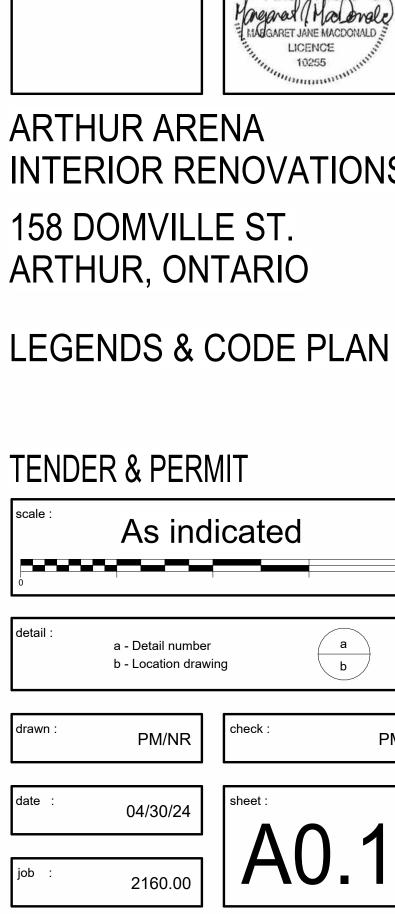
COMPONENTS

COMPONENTS

EXISTING

PARTITION





DIVISION 1 - GENERAL REQUIREMENTS

<u>Section 00700 – AGREEMENT DEFINITIONS AND GENERAL CONDITIONS</u>

The Agreement, Definitions and General Conditions contained in the Standard Construction Document for Stipulated Price Contract CCDC No. 2, revised 2020, shall become a part of the Contract and shall apply to all Contractors and Sub-Contractors.

Section 00100 - SUMMARY OF WORK

- Demolition of an existing grandstand building and construction of a new four-storey (plus service level)
- grandstand building, including site services, structural, mechanical and electrical work.
- Confine work to the area defined by property lines.
- Commence no work until Contract is signed.
- The Owner will apply and pay for Building Permit.
- Contractor shall procure all other permits, licenses, inspections and certificates necessary for the performance of the Work.
- Perform Work per the Ontario Building Code and any other codes of Provincial or local application.
- Meet or exceed requirements of the Contract Documents.
- Repair, patch and make good all existing conditions disturbed by the Work, to match or better pre-construction
- Verify locations, dimensions and elevations on site.
- 10. Execute utility locates.

Section 1250 - SUBSTITUTION PROCEDURES

- Substitution Procedures
 - Contractor may propose a Substitution wherever a Product or manufacturer is specified by proprietary name(s), unless there is accompanying language indicating that Substitutions will not be considered.
 - Contractor may propose a Substitution wherever a Product or manufacturer is specified by proprietary name(s) and accompanied by language such as "or equal", "or approved equal", or other similar words. Do not construe such language as an invitation to unilaterally provide a Substitution without Consultant's prior acceptance in writing. Do not order or install any Substitution without a Supplemental Instruction or Change Order.
 - Provided a proposed Substitution submission includes all of the information specified in this Section under Submission Requirements For Proposed Substitutions, Consultant will promptly review and accept or reject the proposed Substitution.
 - Consultant may accept a Substitution if satisfied that:
 - 1. the proposed substitute *Product* is the same type as, is capable of performing the same functions as, interfaces with adjacent work the same as, and meets or exceeds the standard of quality, performance and, if applicable, appearance and maintenance considerations, of the specified
 - 2. the proposed substitute manufacturer has capabilities comparable to the specified manufacturer,
 - 3. the Substitution provides a benefit to *Owner*.
 - If Contractor fails to order a specified Product or order a Product by a specified manufacturer in adequate time to meet Contractor's construction schedule, Consultant will not consider that a valid reason to accept a Substitution.
 - 6. If Consultant accepts a Substitution and subject to Owner's agreement, the change in the Work will be documented in the form of either a Supplemental Instruction or Change Order as specified in Section 01260 - Contract Modification Procedures.
 - If a Substitution is accepted in the form of a Supplemental Instruction or Change Order, Contractor shall not revert to an originally specified Product or manufacturer without Consultant's prior written acceptance.
- Submission Requirements for Proposed Substitutions
 - Include with each proposed Substitution the following information:
 - .1 Identification of the Substitution, including product name and manufacturer's name, address, telephone numbers, and web site.
 - .2 Reason(s) for proposing the Substitution.
 - A statement verifying that the Substitution will not affect the Contract Price and Contract Time or. if applicable, the amount and extent of a proposed increase or decrease in *Contract Price* and *Contract Time* on account of the Substitution.
 - .4 A statement verifying that the Substitution will not affect the performance [or warranty] of other parts of the Work.
 - .5 Manufacturer's Product literature for the Substitution, including material descriptions, compliance with applicable codes and reference standards, performance and test data, compatibility with contiguous materials and systems, and environmental considerations. .6 Product samples as applicable.
 - .7 A summarized comparison of the physical properties and performance characteristics of the
 - specified Product and the Substitution, with any significant variations clearly highlighted. .8 Availability of maintenance services and sources of replacement materials and parts for the
 - Substitution, as applicable, including associated costs and time frames. .9 Details of other projects and applications where the Substitution has been used.
 - .10 Identification of any consequential changes in the Work to accommodate the Substitution and any consequential effects on the performance of the Work as a whole. A later claim for an increase to the Contract Price or Contract Time for other changes in the Work attributable to the Substitution will not be considered.

Section 01300 - SUBMITTALS

- Submit shop drawings, manufacturer product data, samples as specified.
- Submit maintenance material for Operating and Maintenance Manual. Operating and Maintenance Manual shall contain:
 - List of all suppliers and contractors.
 - Instructions for operating, lubricating and repair or equipment installed. Final finish hardware schedule.
 - Maintenance instructions for all finishes.
 - All signed warranties beyond one year general period.

Section 01410 - SITE INSPECTION REPORTS & TESTING

- 1. The Ontario Building Code specifies the general field reviews of the building be carried out during the course of construction. Contractor shall notify the Consultant of the state of construction to facilitate such reviews by the Consultant and their subconsultants.
- 2. Third party inspection and testing reports are to be supplied to Consultant by the Contractor for the following:
- Soil bearing capacity for all footings.
- Reinforcing steel placement.
- Concrete cylinder test reports for all structural concrete footings, foundation walls, slab-on-grade, structural slabs, concrete on steel deck.
- Backfill and fill compaction.
- Slab moisture and pH testing.
- Inspection of structural steel for alignment, bolts and welded connections.
- 3. Moisture and pH Testing of Concrete Slabs.
- Execute concrete floor slab moisture testing and pH testing of slabs to receive flooring. Tests to be executed by independent testing company as specified in Section 01020. Testing to be paid for from Cash Allowance as specified in Section 01020.
- Moisture testing shall be done in accordance with ASTM F2170-02 Standard Test Method for Determining Relative Humidity in Concrete Floor Slabs Using in situ Probes. Testing shall also be done per ASTM F1869 Calcium Chloride Test, when the ASTM F2170 indicates that slabs have reached a relative humidity level of 80% or less.
- Testing shall not take place until minimum 46 days following completion of curing of floor slabs.
- Ensure that 20"x20" test areas for four (4) F1869 tests are ground clean and left open for 24 hours prior to installation of calcium chloride test kits by testing company.
- Ensure that test area is at the same temperature and humidity expected during normal use; 65 degree F to 85 degree F and 45% to 55% relative humidity. The area should be enclosed and HVAC unit should
- Surface pH testing of concrete slabs shall be done per ASTM F710 Standard Practice for Preparing Concrete Floors to Receive Resilient Flooring, and must range between 7 and 9 before flooring can be installed.

Section 01500 - TEMPORARY FACILITIES

- 1. General Contractor shall provide the following as required for completion of the Work:
 - Temporary electricity.
 - Temporary lighting.
 - Temporary water.
 - Temporary telephone.
 - Temporary fire protection. Temporary first aid.
 - Temporary heating.
 - Temporary sanitary facilities.
 - Temporary site office.

DIVISION 4 - MASONRY

Section 04050 - MASONRY PROCEDURES

General

- Quality Assurance: Comply with the following standards:
- CSA S304.1 Design of Masonry Structures
 - Masonry Construction for Buildings CSA A371 CSA A179
- Mortar and Grout for Unit Masonry Submitttals: submit shop drawing, product data, samples, etc, for each product under this Division.
- Qualifications: Provide competent trade foreman, well skilled and experienced in the specialized type of work required,
- for continuous supervision. Provide specialized skilled and competent tradesmen who have had considerable experience in this type
- Submit, if requested, a detailed list of projects and experience relating to any of the above workers

Designated Substances

- Silica is present in mortar and concrete block. Disturbance of materials containing silica will occur during cutting or grinding of mortar joints. The Contractor undertaking this work is responsible to ensure that workers performing the work are not exposed to airborne silica levels in excess of 0.20 mg/m³. This can be accomplished by:
- providing workers with suitable respiratory protection and disposable coveralls if airborne levels are in
- misting work area with water to suppress dust levels and avoiding dry sweeping of dust and debris
- during clean-up (i.e. use damp mopping or HEPA vacuums; ensuring that adequate temporary ventilation is available inside the work area.
- It should be noted that the use of mechanically powered tools for the work increases the concentration of airborne silica and therefore requires more stringent respiratory protection and controlled work procedures.
- Precautions must be taken, during construction disturbance of silica, to ensure that persons exposed are protected. Constructing physical barriers and using polyethylene drop sheets or enclosures to isolate the work area will control silica levels.
- Comply with "Guideline Silica on Construction Projects", dated April 2011, as issued by Occupational Health and Safety Branch Ministry of Labour.

Environmental Requirements

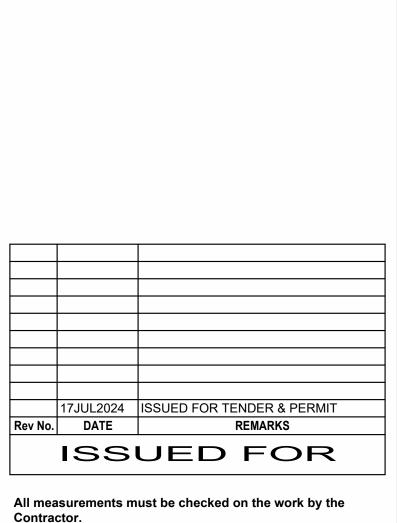
- Cold Weather Requirements
- Protect masonry walls from precipitation so that they are dry in terms of masonry work.
- Implement cold weather procedures when mean daily air temperatures fall below 4°C (40°F). Provide "Protection Period Procedures" and "Requirements During Construction" as specified herein.
- Masonry temperature shall be not less than 4°C (40°F). Mortar temperature shall be in the range of 4°C (40°F) to 20° C (68°F). Comply with "Requirements During
- Construction" chart as specified herein. Provide mortar with 10-16% air entrainment.
- Utilize maximum/minimum thermometers and relative humidity gauge to ensure conditions are complied
- No frozen materials nor materials containing ice shall be used.
- Moisture content of the mortar shall be 10-11.5%. Temperature of warmed sand shall be 21°C (70°F).
- .10 Temperature of warmed mortar shall be maintained between 4°C (40°F) and 49°C (120°F). There is a
- danger of flash setting at higher temperatures. .11 Protection Period Procedures: Protection period for mortar before exposure to freezing temperatures shall be 7 days minimum. During the first 3 days the mortar shall be damp cured using damp burlap covered with polyethylene film at masonry temperature above 10°C (50°F) to ensure some initial strength for the mortar. This shall be followed by four additional days of protection from wind and precipitation
- with masonry temperature above 0°C (32F). Provide water mist curing. .12 Requirements During Construction:

Air Temperature	Requirements During Construction
0°C (32°F) to 4°C (40°F)	1. Heat mixing water to minimum 66°C (150°F) and maximum of 82°C (180°F).
-4°C (25°F) to 0°C (32°F)	1. Heat sand to 21°C (70°F) and mixing water to minimum 66°C (150°F) and maximum 82°C (180°F).
-7°C (19°F) to 4°C (25°F)	 Heat sand to 21°C (70°F) and mixing water to minimum 66°C (150°F) and maximum 82°C (180°F). Provide heat on both sides of walls. Provide windbreaks when wind is in excess of 25 km/hr.
-7℃ (19℉) and below	 Heat sand to 21°C (70°F) and mixing water to minimum 66°C (150°F) and maximum 82°C (180°F). Provide enclosures and supplementary heat to maintain masonry wall and air temperature above 4°C (40°F).

- .13 Heating Sand and Water
 - .1 A common method of heating sand is to place a series of culverts beneath the sand pile with a heating source in the pipe. Heat sand slowly to avoid scorching it. Scorched sand will have a reddish tint and should not be used.
 - Electric heating pads for mortar heating are acceptable (9' x 15' or 9' x 7.5' in size). Heat mortar for minimum of 12 hours using this method - eliminates scorching of sand and reduces labour required to tend open fires. Pads should be UL or ULC approved.
- Alternate method, electric rod heater for water filled drum situated in sand pile UL approval required. Heats both sand and water. Heating time about 8 to 12 hours and will keep up to 4 tons of sand thawed at sub-zero temperatures. .14 Hot Weather Requirements
 - When wall surfaces or ambient temperature reach 25 C, protect new work from rapid drying by providing burlap protection kept misted as necessary to control drying and shrinkage

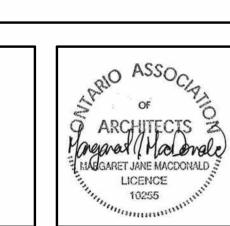


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Do not use this drawing for construction until sealed and

Signing Architect has exercised responsible control with



ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

SPECIFICATIONS

Do not scale the drawing.

signed by the Architect.

respect to design activities.

TENDER & PERMIT

scale: 12" = 1'-0" ____

a - Detail number b - Location drawing

2160.00

b /

Section 04100 - MORTAR & GROUT FOR MASONRY

General

- Perform masonry mortar work in accordance with CSA A179 14 except where specified otherwise.
- All masonry work to conform to requirements specified in Structural Drawings.
- Submit manufacturer's product data for each component of mortar.
- Submit duplicate samples of cured mortar for each mortar mix for review of colour and texture.

- Mortar & Grout: CAN/CSA A179-04 (R2014). Ready mixed mortar for unit masonry, where acceptable, shall conform to ASTM C1142 - 95(2013).
- Mortar: Type S for load-bearing block; Type N for non-load-bearing block.
- Do not use bonding agents, antifreeze compounds, chlorides, or admixtures, except colour pigment, unless approved in writing by Consultant.

Execution

- Mix mortar and grout to CAN/CSA A179 04 (R2014). Mix grout to semifluid consistency.
- Measure and batch mortar materials either by volume or weight, such that the required proportions can be accurately controlled and maintained. Measurement of sand or other materials exclusively by shovel will not be permitted.
- Mix mortar with the maximum amount of water consistent with workability to provide maximum tensile bond strength within the capacity of the mortar.
- Mortar shall be used within 1 ½ hours following mixing if temperature is higher or equal to 25 C (77 F). If temperature is lower than 25 C (77 F), use mortar within 2 ½ hours. Do not use mortar which has begun to set or if more than 2 ½ hours have elapsed since initial mixing. Retemper mortar during 2 ½ hour period, at proper temperature and only as required to restore workability.
- Mix alternative manufactured bagged mortar in accordance with manufacturer's instructions.

Section 04200 - UNIT MASONRY

General

- 1. Provide unit masonry as shown on Drawings and specified herein.
- Quality Assurance: Comply with the following standards: CSA S304.1 Design of Masonry Structures
 - CSA A165 Concrete Masonry Units
 - CSA A371 Masonry Construction for Buildings

 - **CSA A370** Connectors for Masonry
- Mortar and Grout for Unit Masonry CSA A179
- Submittals: Submit manufacturer's product data for each product furnished under this Division. Submit dimensional drawings of special shapes.
- Testing: Mortar cube tests shall provide minimum compressive strength of 8.5 MPa. Grout cylinders shall have a minimum compressive strength of 10.0 MPa.

- Concrete Masonry Units: Furnish metric, autoclaved, lightweight or normal weight, minimum specification u.n.o. (unless noted otherwise) hollow block H/15/A/M and solid block S/15/A/M, of shapes shown.
- Mortar colour to be approved by Architect.
- Grout colour to be approved by Architect.
- Furnish control joint filler, shelf angle supports, mortar mesh and other accessories as shown and noted.
- Masonry Reinforcing: Furnish metal ties, wire reinforcement, bar type reinforcement, bolts and anchors per CAN3-S304.1. Furnish Blok-Lok or Dur-O-Wall horizontal reinforcing units.

Execution

- Install masonry and accessories per referenced standards and manufacturer specifications. Install and build in
- steel lintels, bearing plates, hollow metal door frames and other support devices.
- 2. Lay-up masonry in running bond u.n.o. stack bond and soldier coursing as shown. Provide concave jointing where mortar is exposed.
- Clean masonry with water, detergent and brushes as required by Consultant.

DIVISION 6 - WOOD and PLASTICS

Section 06100 - ROUGH CARPENTRY

General

- Provide rough carpentry as shown.
- Reference Standards:
- NLGA National Lumber Grades Authority
- CAN/CSA G164 Hotdip Galvanizing (min. 600mg/m2). CSA 0121 - Douglas Fir Plywood.
- CSA 0141 Softwood Lumber.
- CSA 0151 Canadian Softwood Plywood. CSA 086 - Engineering Design in Wood.
- 3. Design is based on Limit States Design per CSA 086-01.
- Submit wood treatment data for each type of preservative-treated wood product.

Products

- Lumber to be SPF No. 1/No. 2 Grade, S4S, surface dry at 19% moisture content u.n.o.
- Columns to be SPF No. 2 Grade u.n.o.
- Wood in contact with concrete or exposed to elements to be pressure treated.
- Pressure treatment according to CSA O80 Series, water borne Alkaline Copper Quaternary (ACQ) or Copper Azole (CA) preservative.
- Treat cut surfaces with two brush coats of copper naphthenate preservative or liquid Borate as applicable.
- Nailing shall be per OBC 9.23.3.4 spiral nails and spikes u.n.o., galvanized for exterior work. Bolts, nuts washers, screws, pins appropriate to substrates and galvanized for exterior work.
- Wood to wood connections, Simpson Strongtie shoes, clip angles and hangers, galvanized u.n.o.
- Sill gasket of expanded polyethylene of plate width.
- 10. Plywood: Canadian Softwood Plywood of thicknesses, types and grades shown u.n.o.

Execution

- Install work plumb, square, level and permanently secured
- Install blocking, strapping, furring and other like items.
- Set up and brace door frames for mason.
- Plywood joints are to be staggered, nail wall sheathing at 150mm (6") o.c. at edges and 300mm (12") o.c. elsewhere, u.n.o. Nails to be 11 gauge (0.12") and 62mm (2 $\frac{1}{2}$ ") long minimum u.n.o.

Section 06201 - CASEWORK & COUNTERTOPS

General

- Provide casework, countertops and shelves as shown on Drawings and specified herein.
- Reference Standards: Do casework, countertops and shelves to Architectural Woodwork Standards of the Architectural Woodwork Manufacturers Association of Canada (AWMAC) and the National Hardwood Lumber Association (NHLA) requirements.
- Submittals: Submit shop drawings, manufacturer's product data and samples of door, drawer and box construction, finish hardware, plastic laminate, stainless steel, in finish selected, and countertops.

Products

- Softwood lumber to CSA 0151-M and National Lumber Grades Authority requirements.
- Melamine board: Medium density particle board core for interior use, with melamine faces both sides, of thickness shown and colour as selected by Consultant. Furnish PVC banding for exposed edges in colour to match melamine board. Furnish melamine covered hardboard backs as shown.
- 3. Particleboard (Mat-Formed): minimum 620-670 kg/m3 (38.7-41.8 lbs/cu.ft.) density, and meeting ANSI A208.1-2009, Grade M
- Hardboard: Tempered hardboard to CGSB 11-GP-3M, Type 2.
- Backing Sheet: Furnish backing sheet by same manufacturer as facing sheet, match facing sheet thickness, of standard balancing or backing grade.
- Edge Banding: Provide extruded PVC edge banding at perimeter of interior melamine shelves, 3mm thick, in colour to match melamine and HPL.
- Nails and staples: to CSA B111, stainless steel.
- Fabrication: to Flush Overlay design, and AWMAC construction Custom Grade. Exposed surfaces including shelves in units without doors to be hardwood plywood with High Pressure Laminate. Semi-exposed surfaces to be melamine board including cabinet interiors and interior shelves. All shelving to be adjustable using continuous recessed pilasters. Shop assemble work in sizes easily handled and to ensure passage through building openings.
- 9. Countertop Fabrication: to CAN3-A172, Appendix "A", edge as selected by Consultant, Postform Grade (PF), Type 1, 0.8mm (0.032") thick, mottled colour range, with special scratch resistant finish. Furnish profile plastic laminate end cap closures on open-end counters. Furnish side splash at abutting walls to match countertop. Furnish laminate from same dye lot to ensure adjacent parts of continuous work match in colour. Joints and their location shall be shown on shop drawings.
- 10. Furnish High Pressure Laminate as indicated: Formica MISSION WHITE 933.
- 11. Stainless Steel as indicated on Drawings. T304 Stainless Steel with a #4 finish unless otherwise specified.
- 12. Hardware:
 - Shelving recessed pilaster strips and clips K&V 255 and 256 colour as selected.
 - Drawer boxes: Richelieu Metabox 320 Series, 320 Series, 320K for upper standard drawer depth, 320H for lower deeper drawers, white colour, 100 lbs capacity, 3/4 extension slides, rear sockets.
 - Door hinges: Richelieu self-closing concealed European style. Pulls: Richelieu BP33206140 Functional Pulls, 4" centres, chrome.
 - Bumpers: Richelieu No. 2650611 clear polyurethane.

- Set and secure materials and components in place, rigid, plumb and square.
- Provide concealed fastening in exposed surfaces.
- Fit and adjust operating hardware.

DIVISION 7 - THERMAL & MOISTURE

Section 07270 - FIRESTOPPING

- Provide firestopping as required to maintain fire ratings and fire/smoke separations, and as shown on Drawings.
- Submittals: Submit manufacturer's product data.
- Testing: Firestopping systems shall pass CAN4-S115.

Products

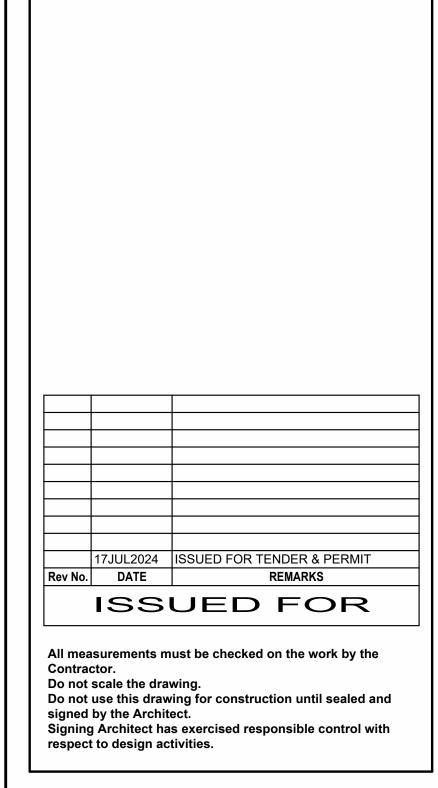
- Dow Corning "Fire-bloc" Firestop System or equal by Double AD or 3M. Furnish the following components as
 - Firestop Sealant #2000 or Fire-bloc 3-50: One part silicone elastomer,
 - Firestop Foam #2001: Two part silicone elastomer,
- Intumescent Wrap Strip: #2002 for pipe penetrations, Self Levelling Firestop Sealant #2003 or Fire-bloc 3-10 for horizontal floor applications,
- Mineral wool insulation by Roxul or Fire-bloc 1 preformed firestopping.

Prepare substrates and install firestopping per manufacturer's tested and passed systems.



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ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

SPECIFICATIONS

TENDER & PERMIT

12" = 1'-0"

a - Detail number b - Location drawing

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DIVISION 8 - DOORS & WINDOWS

Section 08100 - HOLLOW METAL WORK

General

- Provide hollow metal work as shown on Drawings and specified herein, including fire-rated and non-fire rated,
- insulated and non-insulated assemblies. Submittals: Submit shop drawings and manufacturer product data. Do not proceed with fabrication without receipt of approved shop drawings and approved hardware schedule.
- Coordinate with Finish Hardware Supplier to ensure proper preparation of doors and frames.
- Fabricate and install labelled steel fire-rated door and frames to NFPA 80 except where specified otherwise.

- 1. Furnish doors and frames by a member/firm of the Canadian Steel Door and Frame Manufacturers Association (CSDFMA).
- Furnish steel sheet to ASTM A526 with galvanize finish to ASTM A525, W25 (wiped) designation.
- Furnish fire-rated doors and frames of material and construction complying with Underwriters Laboratories of Canada (ULC) or Warnock Hersey (WH) for labelled ratings indicated, with appropriate label attached.
- Furnish 1.2mm hollow metal frames for metal stud and gypsum board partitions and 1.6mm welded hollow metal frames for other door frames.
- Provide hardware reinforcement per CSDFMA requirements.
- Provide frames with appropriate anchors for anchorage to floor and wall substrates per CSDFMA.
- Provide black neoprene double stud bumpers.
- Provide exterior door steel top caps.
- Hollow Metal Work:
- 1. Furnish Hollow Metal Door Frames as follows:
 - Furnish 16 gauge (1.3mm) welded type, hollow metal frames.
 - Hardware Reinforcement: per CSDFMA requirements.
 - Channel Spreaders: 0.9 mm steel.
 - Steel frame anchors: thickness and design approved by CSDFMA and ULC.
 - Lock, strike, etc., reinforcing: minimum 1.6 mm thick base steel.
 - Hinge Reinforcements: 2.7 mm steel.
 - Each door opening shall be prepared for single stud rubber door silencers, three (3) for single
 - door openings, two (2) for double door openings, except on gasketed frame product. Weld-in-place all frame back boxes provided by Section 08710, for electric hardware. Boxes shall
 - be centred around the electric hardware preparation.
 - Provide frames with weld-in-place steel reinforcement to suit all three closer mounting
 - applications (regular, top jamb and parallel arm application).
 - 10. Fire-rated frame shall be provided for those openings requiring fire protection as determined and scheduled by the Consultant.
 - 11. Provide fill caps, at interior side of exterior hollow metal door frames, for installation of sprayed foam insulation.
- 2. Furnish Hollow Metal Doors as follows:
 - 1. Furnish flush and embossed type doors, of sizes conforming to details and schedules, with
 - provisions for cutouts for glass and reinforced to receive hardware fastenings.
- Facings: 1.3mm steel.
 - Honeycomb core.
 - C/W tack-welded side seams.
- Glazing stops: minimum 1.5mm steel, formed, drilled and countersunk for fastenings.
- 3. Furnish Hollow Metal Frames as follows:

 - Furnish frames of types as specified herein.
 - For welded frames, cut frame mitres accurately and weld continuously on inside of frame profile. Glazing stops shall be formed steel channel, minimum 16 mm (0.625") height, accurately fitted,
- butted at corners and fastened to frame sections with counter-sunk oval head sheet metal screws. 4. Furnish Fire Rated Doors and Frames as follows:
- Fabricate fire-rated door and frame for opening as indicated on the Door Schedule. Fabricate door and frame for hourly rating noted on Door Schedule in compliance with ULC requirements.
- Furnish door and frame with appropriate ULC label attached Locate ULC label on door on hinged edge, midway between top hinge and head of door. Locate ULC label on frame indoor rebate.
- Mortise, reinforce, drill and tap doors to receive templated hardware and reinforce for hardware, all as per ULC requirements
- 10. Fabrication: Fabricate items per CSDFMA "Canadian Manufacturing Specifications for Steel Door and Frames" and per reviewed shop drawings. Furnish welding per CSA W59 by a firm approved by Canadian Welding Bureau (CWB) to requirements of CSA W47.1.

Execution

Frames, finish hardware and doors shall be installed in accordance with Canadian Steel Door Manufacturers Association installation procedures.

Section 08710 - FINISH HARDWARE

General

- Furnish finish hardware for doors as shown on Drawings and specified herein, from cash allowance.
- Hardware supplier shall furnish and deliver to project all items of architectural hardware.
- Hardware supplier shall furnish and install electrical hardware items including, but not limited to, electric exit devices, current transfer devices, integration modules, barrier-free operators and switches, low voltage wire and power supplies and telephone access system. All low voltage terminations shall be completed by the hardware supplier.
- Submittals: Submit five sets of riser and schematic wiring diagrams for electrical hardware systems. Submit samples of each hardware item. Submit templates for use by fabricators and installers. Submit maintenance, operating and installation instructions for maintenance manuals. Submit six copies of finish hardware schedule.
- 5. Quality Assurance: Finish hardware schedule shall be prepared by a Finish Hardware Consultant member in good standing with the Door and Hardware Institute (DHI). Furnish hardware as required by jurisdiction codes. Furnish ULC or WHI listed hardware for fire-rated construction. Furnish ULC and/or CSA listed electrical components.
- Warranty: Provide five (5) year extended warranty for door closers.
- Inspection and supervision: Hardware supplier shall provide a qualified Architectural Hardware Consultant who shall cooperate with installer and clarify locations or installation methods of particular items.

Products

- 1. Furnish Commercial Grade finish hardware made to template and templates together with instructions necessary for door and frame preparation.
- 2. Furnish necessary screws, bolts and other fastening devices to anchor hardware neatly and properly per best practices.
- Materials:
- Hinges: Stanley or McKinney.
- Continuous Hinges: Larsen or Markar.
- Flush Bolts: HB Ives, DCI or Trimco.
- Current Transfers: Von Duprin or Securitron.
- Astragals: KCN, NGP or Pemko.
- Door Stops: CBH or Gallery.
- Latch Sets and Cylinders: Schlage or Sargent.
- Exit Devices: Von Durprin or Sargent.
- Door Closers: LCN or Nortan. Closer/Holders: LCN or Nortan.
- 11. Kick Plates: CBH or Gallery.
- Overhead Stops: GJ or Sargent.
- Thresholds: KNC or Pemko.
- 14. Auto Door Bottoms: KNC or Pemko.
- Weather Strip: KNC or Pemko.
- Integration Modules: TAC or Detex.
- Power Supplies: Secruitron or TAC. Telephone Access System: Microm (no substitution).
- 19. Automatic Entry Door Operators: Horton or Besam.
- Finishes: As selected by Owner.
- Keying: Key cylinders to a new patented factory key system, submit key schedule for Owner approval prior to any key work.
- Supply construction keyed cylinders and construction keys.
- Furnish key cabinet of suitable size and lockable.
- Provide instructions and templates to fabricators and hardware installers.
- Hardware location dimensions per Canadian Metric Guide for Steel Doors and Frames by Canadian Steel Door and Frame Manufacturer's Association and as required by Code.
- 10. All keys to be hand delivered directly to Owner's Representative. No permanent keys are to be delivered to job

Execution

1. Installation to be executed under Section 06200, except as specified.

Section 08800 - GLASS & GLAZING

- Provide glass and glazing as shown on Drawings and specified herein.
- Submittals: Submit manufacturer product data for glass and glazing materials. Submit manufacturer warranty against failure of seal in insulating glass units.

- Float glass: to CAN2-12.3-M glazing quality of 6mm thickness.
- Wired glass: to CAN2-12.11-M, wire mesh style Georgian Wired, of 6mm thickness.
- Tempered safety glass: to CAN2-12.1M, Type 1, Class A of 6mm thickness.
- Accessories: Furnish glazing gaskets, glazing tapes, setting and spacer blocks and sealant as required by the Insulating glass units performance: U-Value metric 1.5 w/m ²C; U-Value Imperial Winter Night-time 0.28,
- Summer Day-time 0.26; visible light transmittance 64%.

Install glass and glazing per FGMA Glazing Manual and IGMA for glazing installation methods. Clean glass per manufacturer directions.

SECTION 088813 - FIRE-RATED GLASS - FIRELITE PLUS

General

- Provide Fire-Rated glazing materials as windows in fire-rated frames as shown on Drawings and specified
- Submittals: Provide manufacturer's technical data for each glazing material required, including installation and maintenance instructions.
- Provide certificates of compliance from glass and glazing materials manufacturers attesting that glass and glazing materials furnished for project comply with requirements. Separate certification will not be required for glazing materials bearing manufacturer's permanent label designating type and thickness of glass, provided labels represent a quality control program involving a recognized certification agency or independent testing laboratory acceptable to authority having jurisdiction.
- Submit approx. 8-inch by 10-inch sample for each type of glass indicated.

Products

- Glass:
- 5/16 inch (8mm) overall. Fire Rating – 45 minutes.
- Impact resistance to ANSI Z97.1 and CPSC 16CFR1201 (Cat. I and II)
- Surface Finish: Standard Grade
- Permanently label each piece of FireLite Plus with the FireLite Plus logo, UL logo and fire rating. Fire Rating: Fire rating classified and labeled by UL/C for fire rating scheduled at opening locations on
- drawings, when tested in accordance with ULC Standards CAN4 S-104 and CAN4 S-106.
- Glazing tape, compound, sealants, setting blocks and other accessories to be provided in accordance with manufacturer's recommendations.

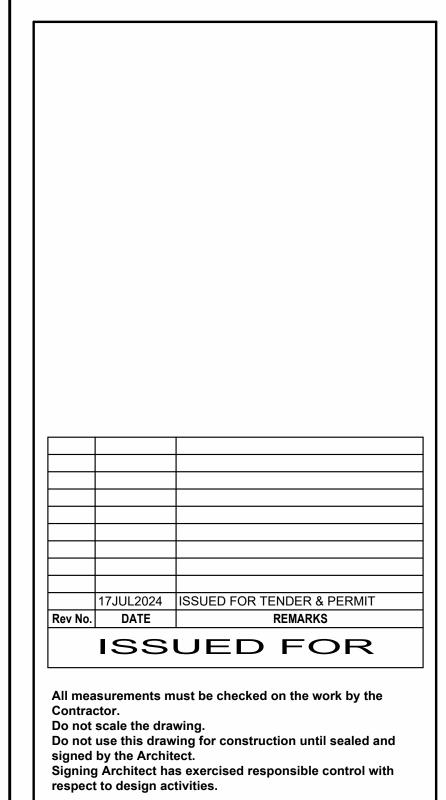
Execution

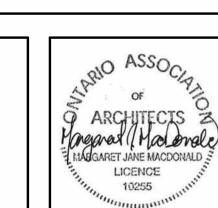
- Comply with referenced FGMA standards and instructions of manufacturers of glass, glazing sealants, and
- Protect glass from edge damage during handling and installation. Inspect glass during installation and discard pieces with edge damage that could affect glass performance.
- Ensure conditions for glazing installation are correct and satisfactory.
- Install so that appropriated UL/C FireLite Plus markings remain permanently visible. Wash glass on both faces not more than four days prior to date schedule for inspections intended to

establish date of substantial completion. Wash glass by method recommended by glass manufacturer.



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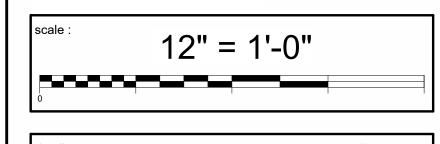




ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

SPECIFICATIONS

TENDER & PERMIT



a - Detail number b - Location drawing

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DIVISION 9 - FINISHES

Section 09100 - METAL SUPPORT SYSTEMS

General

- 1. Provide metal support systems for ceilings, partitions, facings, bulkheads, soffits, etc. as shown on Drawings
- Submittals: Submit shop drawings, manufacturer product data, standard details and installation instructions. Shop drawings to be signed and sealed by a qualified Professional Engineer registered in Ontario.
- References: ASTM C635, Standard Specifications for Metal Suspension Systems.
- ASTM C636, Recommended Practice for Installation of Metal Suspension Systems.
- Ceiling & Interior Systems Construction Association (CISCA) Ceiling Systems Installation Handbook. ASTM C645, Standard Specification for Non-Load Bearing (Axial) Steel Studs, Runners, (Track), and
- Rigid Furring Channels for Screw Application of Gypsum Board. ASTM C754, Specification for Installation of Steel Framing Members to Receive Screw-Attached
- Gypsum Panel Product.
- ASTM E119, Standard Test Methods for Fire Tests of Building Construction and Materials.
- Underwriters Laboratories Inc. (UL) Fire Resistance Directory.
- Store and handle products and provide environmental conditions as recommended by manufacturer.

Products

- Suspended ceiling system for gypsum board: Furnish 37mm (1 ½") cold-rolled steel carrying channels, metal furring channels and hangers.
- Metal Furring Channels: 22mm (7/8") winged flange type, cold rolled galvanized steel hat channels for screw-
- Metal Resilient Channels: 12.7mm (½"), cold rolled galvanized steel for screw-on gypsum board.
- Hangers: 5mm (3/16") diameter pencil rods of galvanized steel to CSA A82.30-M.
- Tie Wire: minimum No. 18 gauge galvanized wire to CSA A 82.30-A.
- Hanger Anchors: Appropriate for construction assembly.
- Interior non-load bearing channel stud framing: to ASTM C645 of sizes as shown, of roll formed electrogalvanized steel, for screw attachment of gypsum board. Knockout service holes at 46mm centers.
- Floor and ceiling track: to ASTM C645 in widths to suit stud sizes.
- Screws: per ASTM C754.
- Concrete anchors: per ASTM C754.

Execution

- 1. Install ceiling suspension system per ASTM C635, ASTM C636, CISCA installation standards, shop drawings and manufacturer installation instructions.
- Install steel stud partitions, furring channel between studs for attachment of fixtures, electrical boxes, etc. per ASTM C645, shop drawings and manufacturer installation instructions.

Section 09250 - GYPSUM BOARD ASSEMBLIES

General

- 1. Provide gypsum board work including ceilings, partitions, bulkheads, soffits, shaft-wall system, etc. as shown on Drawings and specified herein.
- Submittals: Submit manufacturer product data, standard details and installation instructions. References:
 - Levels of Gypsum Board Finish by the Association of the Wall and Ceiling Industry (AWCI).
 - CGC, Installation & Finish of Gypsum Panels, document GA216.
 - ASTM C36/C36M, Specification for Gypsum Board Wallboard.
- ASTM C475/C475M, Specification for Joint Compound and Joint Tape for Finishing Gypsum Board.
- ASTM C840, Specification for Application and Finishing of Gypsum Board.
- ASTM C1002-04, Specifications for Steel Self-Piercing Tapping Screws for the Application of Gypsum Board Panel Products.
- ASTM C1047, Specifications for Accessories for Gypsum Wallboard.
- CAN/CGSB-51.34-M, Vapour Barrier, Ployethylene Sheet for Use in Building Construction.
- CSA A82.31M Gypsum Board Application.
- CGSB 19-GP-14M Sealing Compound, One Component, Butyl-Polyisobutylene Polymer Base, Solvent
- Store and handle products and provide environmental condition as recommended by manufacturer.

- 1. Gypsum board: to ASTM C36/C36M regular and Type X of thicknesses shown, 48" wide x maximum practical
- Screws: to ASTM C1002.
- Laminating compound: "Green Glue" by Green Building Supply, or other approved.
- Shaft Wall System: CGC "Sheetrock Shaft Wall System" as shown, per ULC certified assembly.
- Accessories: Joint reinforcement tape and joint compound: to ASTM C475/C475M.
 - Casing beads, corner bead, fill-type: to ASTM C1047, galvanized.
 - Zinc control joint No. 093 by US Gypsum or equal.
 - Acoustic sealant: to CGSB 19-GP-14M.
 - Polyethylene film: to CAN/CGSB-51.34-M.
 - Insulation strip: Rubberized, moisture resistant, 3mm thick.
 - Attic access hatch: Nystrom "IUA Series" fire-rated with gasketing and paint finish.
- Shaft wall access door: Fire-rated insulated metal as shown.

Execution

- 1. Do application and finishing of gypsum board per CSA A 82.31M, ASTM C840 and manufacturer's
- Finish gypsum board to Level 4 finish, except ceilings and bulkheads, per AWCI "Levels of Gypsum Board
- Finish gypsum board ceilings and bulkheads to Level 5 per AWCI "Level of Gypsum Board Finish".

Section 09511 - ACOUSTIC LAY-IN CEILINGS

General

- Provide suspended acoustic tile ceiling system as shown on Drawings and specified.
- Reuse and clean existing grid as possible. Replace as required.
- Design criteria for suspension system: Maximum deflection 1/360th of span to ASTM C635 deflection test. Submittals: Submit manufacturer's product data, duplicate samples of acoustic tile units and 600mm (24") long samples of tee grid.
- Maintenance Materials: Submit two cartons of acoustic tile units, from same production run as installed units.

Products

1. Acoustic Tile:

- Furnish CertainTeed Architectural Acoustical Ceiling Panel "Symphony m", 2' x 4', square edge, white colour, in new exposed tee grid iin areas indicated ACT-1.
- Furnish CertainTeed Architectural Acoustical Ceiling Panel "Symphony m", 2' x 4', square edge, white
- colour, in existing exposed tee grid in areas indicated ACT-3. Furnish CertainTeed Architectural Acoustical Ceiling Panel "Symphony m RX", 2' x 4', square edge,
- white colour, in existing exposed tee grid in areas indicated ACT-2. Suspended System: Donn DX, 24mm (or equivalent by Armstrong) intermediate duty, white, two-directional exposed tee bar grid.
- Hangar Wire: galvanized soft annealed steel wire, 2.6mm diameter.
- Hangar Inserts: as appropriate to substrates and structures hung from.
- Accessories: wall moulding, retainers, clips, splices, etc.

Execution

- Install suspension system to ASTM C636 and per manufacturer's specifications.
- Install acoustic tile units per manufacturer specifications and as shown on Drawings.

DIVISION 9 - FINISHES

Section 09660 - RESILIENT FLOORING

General

- 1. Provide resilient flooring, base and accessories as shown on Drawings and specified herein.
- Submittals: Submit manufacturer's product data for each product as specified. Submit duplicate samples of each product specified. Submit manufacturers maintenance data.
- Environmental Requirements: Provide such per manufacturer specifications.
- Maintenance Materials: Provide extra flooring materials of each type specified for Owner's maintenance purposes.

Products

- - TYPE SV: Forbo Eternal Safety Sheet flooring 172812 GREY LAVENDER
 - TYPE RT-1: Forbo Marmoleum Modular Tile 19.69"x19.69" t3053 DOVE GREY.
- TYPE RT-2: Forbo Marmoleum Modular Tile 19.69"x19.69" t3718 PLUTO.
- Furnish Forbo "T940" adhesive. Resilient Base: 4" high resilient cove profile.
- Forbo Wall Base: C40 SAND GRANITE
- Divider Strips: Furnish Schluter transition strips.
- Sub-Floor Filler and Leveller: as recommended by flooring manufacturer. Moisture Control: Refer to Sections 01400 and 03343.

Install products per manufacturer specifications. Clean resilient flooring per manufacturer specifications.

Section 09900 - PAINTING

General

- Provide painting as shown on Drawings and specified herein.
- Submittals: Submit manufacturer's product data for each paint coating as specified. After selection of colours by Architect or Owner, submit 150mm x 200mm (6" x 8") sample drawdown of each finish colour and sheen for review. Submit two samples of wood stain with clear coat finish.
- Environmental Requirements: Comply with humidity an ambient temperature requirements as specified by paint manufacturer.

Products

- Qualified Products: only paint materials listed on the CGSB Qualified Products List are acceptable for use on this project. Formulas specified herein are based on Benjamin Moore numbers; equivalent paints by ICI, Glidden, Colour Your World, Sico, Pratt & Lambert or other quality product manufacturer is acceptable.
- Paint materials for each coating system to be products of a single manufacturer as possible.

Execution

- Preparation of Surfaces: to paint manufacturer's published recommendations.
- Application: Sand and dust between coats. Finish faces, bottoms, edges, tops and cutouts of doors after fitting. Comply with manufacturer's product data and application specifications.
- Mechanical and Electrical: Paint exposed conduits, pipes, hangers and other mechanical and electrical equipment exposed in finish painted areas.
- Exterior Paint Systems:
- System No. 1E: Galvanized metal:
 - Clean wipe with recommended solvent.
 - One coat latex Fresh Start Primer K046. Two coats acrylic exterior Soft Gloss K543.
- System No. 2E: Wood and high density polyurethane foam:
- One coat latex Fresh Start Primer K046.
- Two coats acrylic exterior Soft Gloss K543. System No. 3E: Wood to receive stain and clear coat:
- Transparent stain K637,
- **Interior Paint Systems:**
- System No. 1: Masonry block: One coat latex block filler Super Spec K160.

Two coats Arborcoat K636.

- Two coats EcoSpec WB F375 Pearl. System No. 2: Gypsum board walls:
- One coat latex primer sealer K253
- Two coats acrylic latex EcoSpec WB F375 Pearl.
- System No. 3: Gypsum board ceilings: One coat latex primer sealer K253
- Two coats acrylic latex EcoSpec WB F374 Eggshell. System No. 4: Hollow metal doors and frames:
- Clean wipe with solvent.
- One coat acrylic primer KP04. Two coats acrylic latex EcoSpec WB F376 Semi Gloss.
- System No. 5: Ferrous miscellaneous metal:
- One coat acrylic primer KP04. Two coats acrylic latex EcoSpec WB F376 Semi Gloss.

SECTION 10 - SPECIALTIES

Section 10800 - WASHROOM ACCESSORIES

- Provide washroom accessories as shown and specified on drawings.
- Provide wood backing in wall to support all wall-hung fixtures.

- Universal Washroom Toilet Tissue Dispenser: Frost Surface Mounted Single Toilet Paper Holder, Product Code "1135-S", Single roll unit, Type 304 stainless steel, brushed finish, with concealed mounting. Roller shall
- hold and dispense all standard core roll tissue up to 5" diameter. 2. "L" Grab Bar: Frost Stainless Steel 1-1/2" Diameter Grab Bars, Product Code "1003-NP30X30", 18 gauge stainless steel, 1-1/2" O.D. (outside diameter), brushed finish with peened grip, provided with 12 gauge stainless steel snap flange with concealed mounting, bead weld to stainless steel tubing
- stainless steel, 1-1/2" diameter, brushed finish with peened grip, provided with 12 gauge stainless steel snap flange with concealed mounting, bead weld to stainless steel tubing. 36" Grab Bar: Frost Stainless Steel 1-1/2" Diameter Grab Bars, Product Code "1003-NP36", 18 gauge

24" Grab Bar: Frost Stainless Steel 1-1/2" Diameter Grab Bars, Product Code "1003-NP24", 18 gauge

- stainless steel, 1-1/2" diameter, brushed finish with Peened grip, provided with 12 gauge stainless steel snap flange with concealed mounting, bead weld to stainless steel tubing. Feminine Napkin Disposal Bin: Frost, Product Code "622" welded, 22 gauge stainless steel, brushed finish,
- continuous hinged door, etched with "napkin disposal", surface mounted. Wall-Mounted Waste Receptacle: Frost Wall Mounted Waste Receptacle with Galvanized Liner, Product Code "303-3", Body: 22 gauge stainless steel, Type 304 no. 4, brushed finish, Lid: 20 gauge stainless steel, Type 304 no. 4, brushed finish, 33" high.
- Mirror: Frameless Bevel Mirror, Product Code "6271167", dimensions per drawings. Safety Coat Hook: Frost Steel Safety Coat Hook, Product Code "1150-Black", Body: 18 gauge stainless steel,

Type 304, brushed finish, Hook: 18 gauge steel, black powder coat finish.

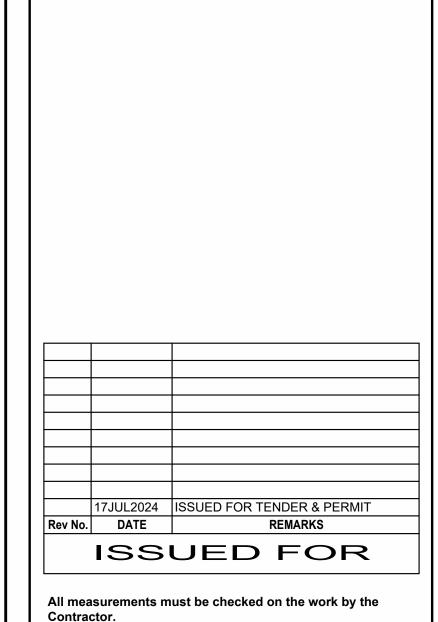
- Install in-wall backing and anchors to stud framing prior to installation of gypsum board.
- Use tamper-proof screws/bolts for fasteners.

Section 10400 - INTERIOR SIGNAGE

- Signange to be provided per Building Code Requirements.
- Room Signage style, wording and numbering to be confirmed with Owner.

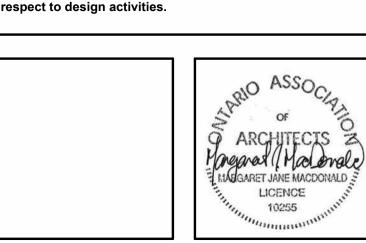
- Updated Fire Exit Plan: Signage locations to be confirmed by Authority Having Jursidiction, size to suit plan
- Service / Utility Rooms: 8" x 8" signage.
- Washrooms: International Male / Female / Accessible signage, include tactile / Braille. Size 8" x 8".

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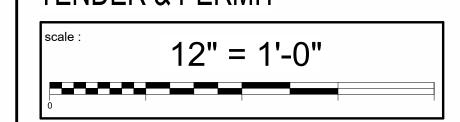
ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

SPECIFICATIONS

TENDER & PERMIT

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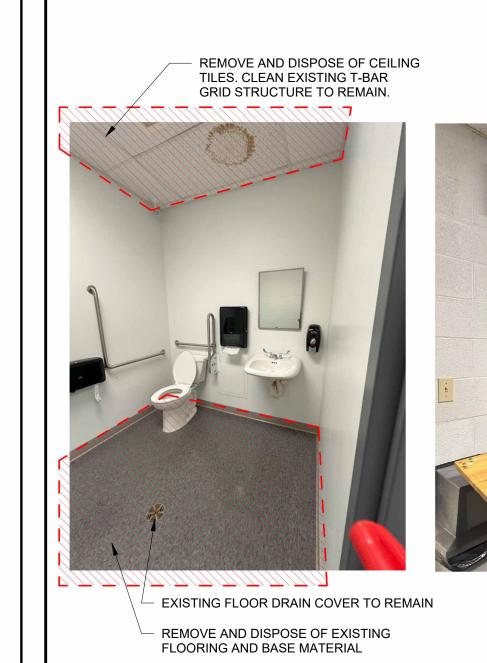
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a - Detail number b - Location drawing

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UNIVERSAL WASHROOM 205

DEMOLITION PHOTOS

NEW OPENING TO SUIT NEW DOUBLE DOOR.

STORAGE ROOM 202

REMOVE AND DISPOSE OF

EXISTING SHUTTER. ENLARGE

REMOVE AND DISPOSE OF EXISTING

REMOVE AND DISPOSE OF EXISTING CEILING TILES. CLEAN EXISTING GRID STRUCTURE.

REMOVE AND DISPOSE OF EXISTING FLOORING AND BASE MATERIAL

FLOORING AND WALL BASE

RECEPTION HALL 210 - LOOKING EAST

REMOVE AND DISPOSE OF EXISTING WIRED GLASS WINDOWS AND FRAMES ENLARGE OPENINGS AS DESIGNED AND DISPOSE OF WALL MATERIAL

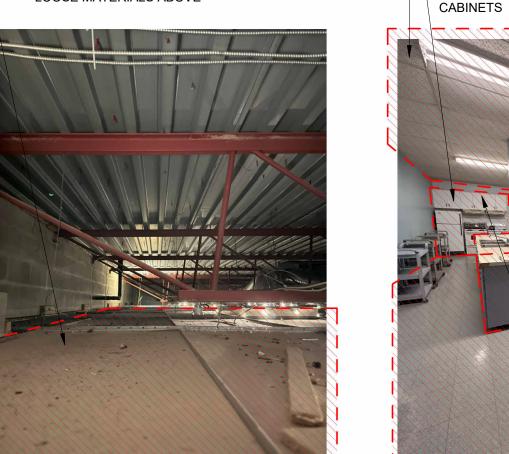
REMOVE AND DISPOSE OF EXISTING CEILING TILES,

DIFFUSERS AND LIGHTING. EXISTING T-BAR GRID

STRUCTURE TO REMAIN AND BE CLEANED.

REMOVE AND DISPOSE OF EXISTING ACT CEILING TILES AND ANY MISCELLANEOUS LOOSE MATERIALS ABOVE

RECEPTION HALL - CEILING SPACE



REMOVE AND DISPOSE OF ackslash REMOVE AND DISPOSE EXISTING FLOORING AND OF EXISTING MILLWORK AND SINK

REMOVE AND DISPOSE OF EXISTING CEILING TILES, LIGHTING AND GRILLES - CLEAN EXISTING

REMOVE AND DISPOSE OF EXISTING RANGES,

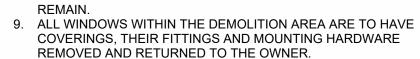
HOOD FANS, REFRIGERATOR AND UPPER

T-BAR GRID STRUCTURE TO REMAIN.

KITCHEN 213

DEMOLITION NOTES

- 1. DO NOT DAMAGE EXISTING BUILDING OR PORTIONS OF EXISTING BUILDING TO REMAIN. TAKE CARE NOT TO ENCROACH ON ADJACENT OCCUPIED AREAS OR AREAS NOT WITHIN THE SCOPE OF WORK. PROTECT ALL EXISTING FINISHES THAT ARE TO REMAIN, PATCH AND MAKE GOOD ALL EXISTING ADJACENT SURFACES FINISHES AND MATERIALS
- WHERE DISTURBED OR DAMAGED BY NEW CONSTRUCTION. UNLESS NOTED OTHERWISE (UNO) REMOVE AND DISPOSE OF ALL EXISTING WALL MOUNTED ITEMS (EG. MIRRORS, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, ETC.) WITHIN THE AREA OF WORK.
- WHERE A WALL MOUNTED ITEM IS REMOVED PATCH AND REPAIR VOIDS AND MAKE WALL SURFACE READY TO RECEIVE FINISH INDICATED.
- 4. REMOVE ALL WIRING FROM ELECTRICAL ITEMS THAT WILL BE REMOVED AND ALL REDUNDANT CONDUIT TO NEAREST JUNCTION BOX THAT WILL REMAIN, AND MAKE SAFE. INSTALL COVER PLATES OVER EXPOSED OPENINGS AND ELECTRICAL BOXES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL PIPING AND DUCTWORK THAT IS TO BE REMOVED IS TO BE REMOVED BACK TO THE NEAREST JUNCTION AND CAPPED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- NOTIFY CONSULTANT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL IMMEDIATELY.
- DISPOSE OF ALL DESIGNATED SUBSTANCES PER THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- 8. PROVIDE PROTECTION FOR ALL FINISHES OR SERVICES TO





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DEMOLITION PLAN



As indicated

a - Detail number b - Location drawing

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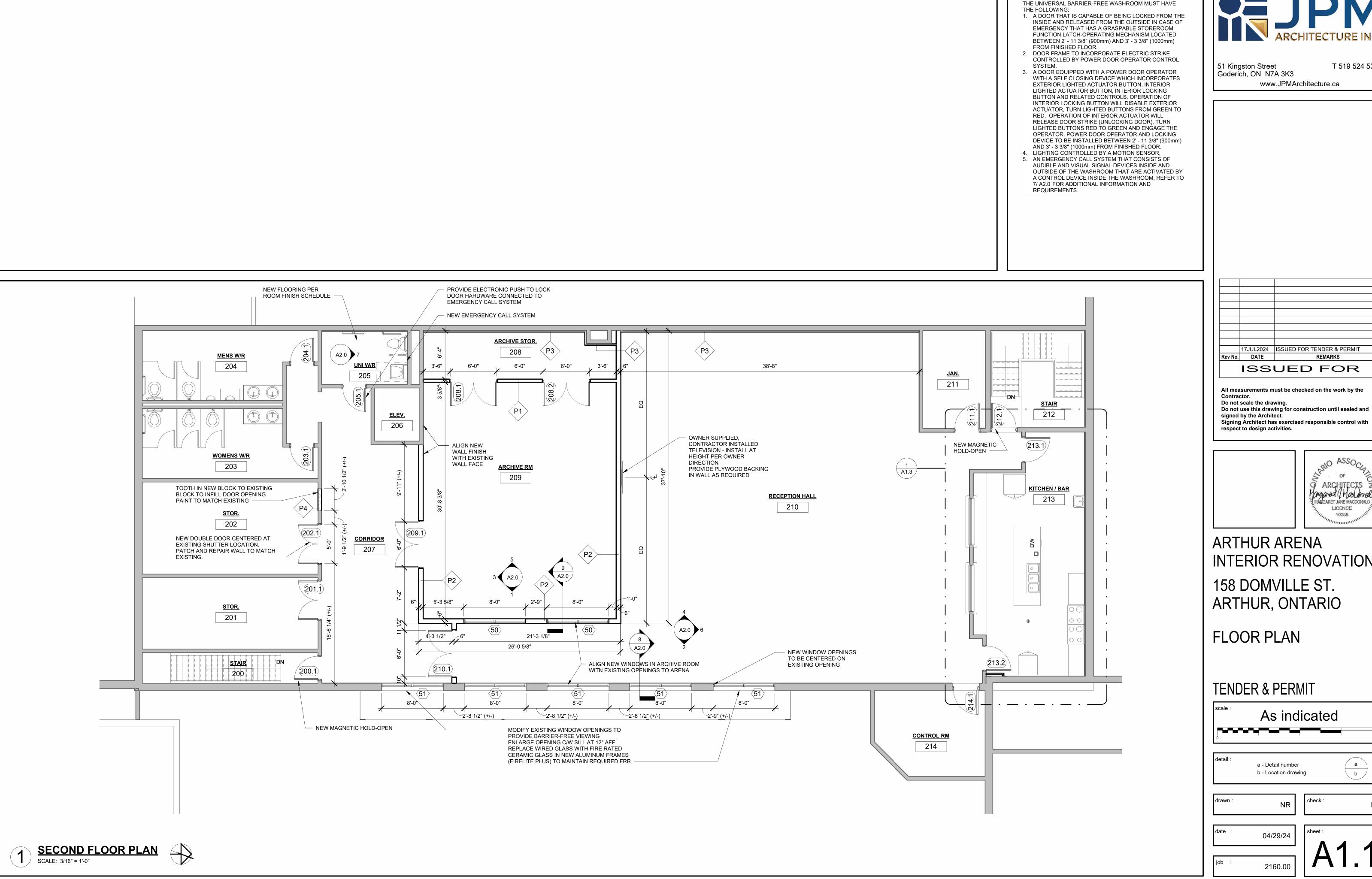
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MENS W/R 205 204 REMOVE AND DISPOSE OF EXISTING PANELLED WALL FINISH 211 REMOVE AND DISPOSE OF EXISTING <u>STAIR</u> CEILING TILES, LIGHTING AND GRILLES - CLEAN EXISTING T-BAR 212 ELEV. GRID STRUCTURE TO REMAIN EXISTING SPEAKER SYSTEM TO BE 206 RELOCATED PER REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS - EXISTING COOLER TO REMAIN - EXISTING FREEZER AND COOLER TO WOMENS W/R FUTURE ARCHIVE ROOM AREA: BE RETAINED REMOVE AND DISPOSE OF 203 EXISTING ACT CEILING SYSTEM, REMOVE AND DISPOSE OF EXISTING - EXISTING HANDWASH SINK TO REMAIN. INCLUDING GRID AND TILES IN SMOKE DISCHARGE SYSTEM REMOVE AND RETAIN PAPER TOWEL, AREA OF FUTURE ARCHIVE ROOM SOAP DISPENSERS AND SIGNAGE FOR REINSTALLATION PER PROPOSED DRAWINGS REMOVE AND DISPOSE OF REMOVE AND DISPOSE EXISTING FLOORING AND BASE OF EXISTING DOOR REMOVE AND DISPOSE OF EXISTING AND FRAME FLOORING AND BASE STOR. RECEPTION HALL KITCHEN / BAR 202 EXISTING WALL GRILLE TO BE 213 REMOVED AND RELOCATED. RETAIN RETAIN EXISTING SHUTTERS GRILLE AND REINSTALL PER REMOVE AND DISPOSE REMOVE AND DISPOSE OF OF EXISTING SHUTTER ENLARGE OPENING TO PROPOSED ARCHITECTURAL AND EXISTING SILL SHELVES MECHANICAL DRAWINGS. FIT NEW DOUBLE DOOR REMOVE AND DISPOSE OF EXISTING ACT CEILING TILES -REMOVE AND DISPOSE OF ISLAND CLEAN EXISTING T-BAR GRID MILLWORK, SINK AND ELECTRICAL STRUCTURE TO REMAIN -RETAIN EXISTING PLUMBING AND ELECTRICAL CONNECTIONS STOR. REMOVE AND DISPOSE OF SERVERY 201 MILLWORK REMOVE AND DISPOSE OF EXISTING WIRED REMOVE AND DISPOSE OF EXISTING GLASS WINDOWS AND FRAMES RANGES AND REFRIGERATOR ENLARGE OPENINGS AS DESIGNED AND DISPOSE REMOVE AND DISPOSE OF EXISTING UPPER CABINETRY AND HOOD FANS 200 CONTROL RM 214

a \
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DEMOLITION PLAN SCALE: 3/16" = 1'-0"



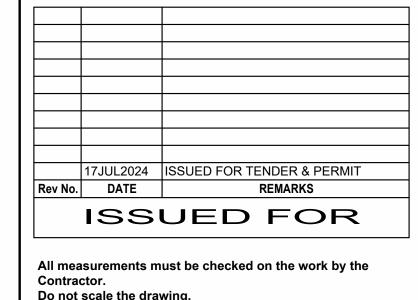


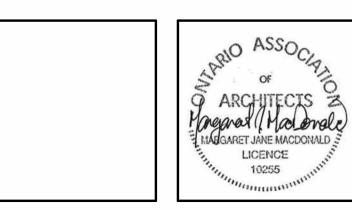


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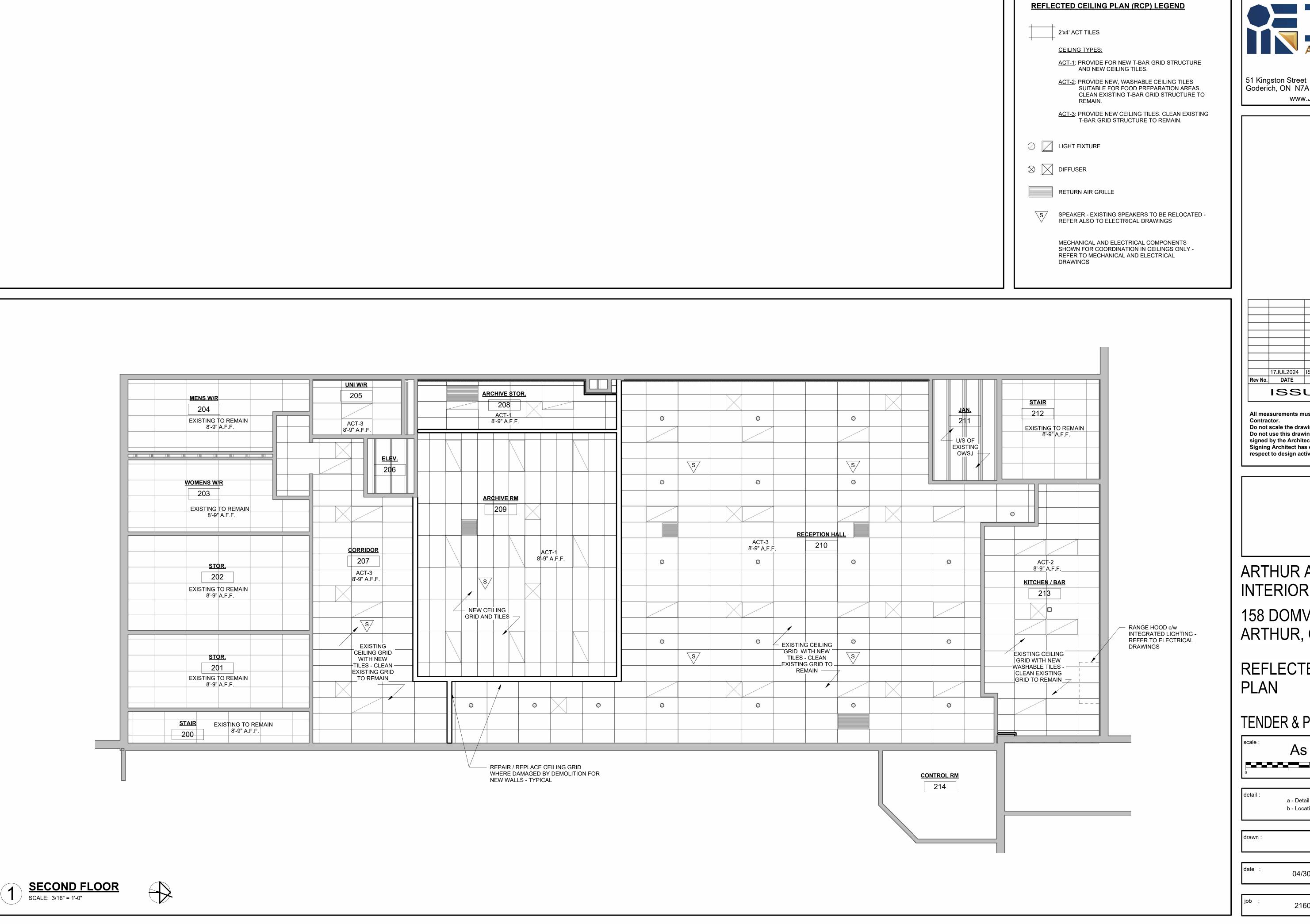
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INTERIOR RENOVATIONS 158 DOMVILLE ST.

As indicated





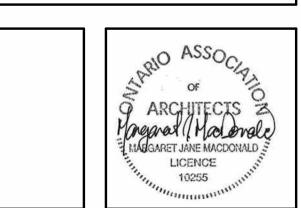
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ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

REFLECTED CEILING

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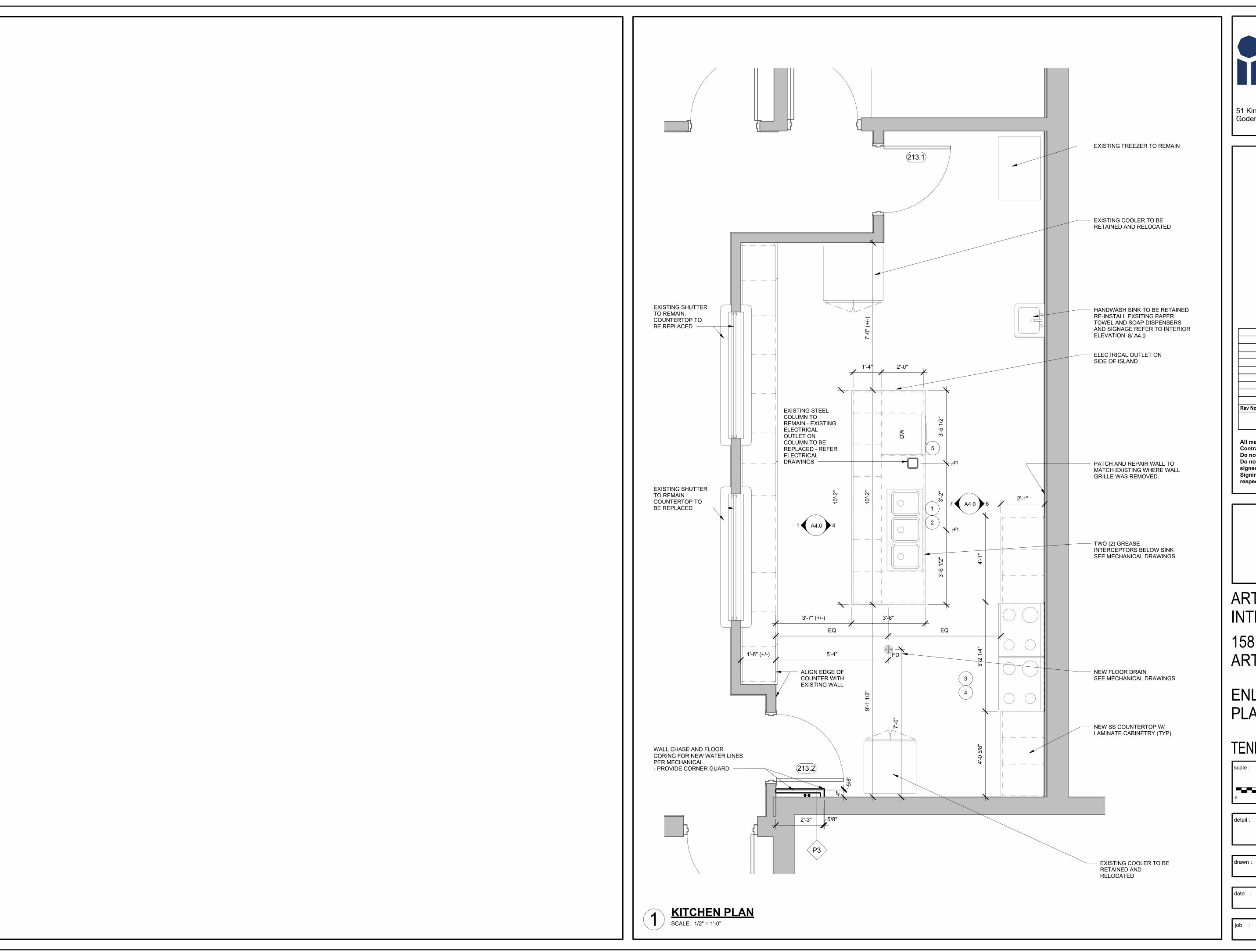
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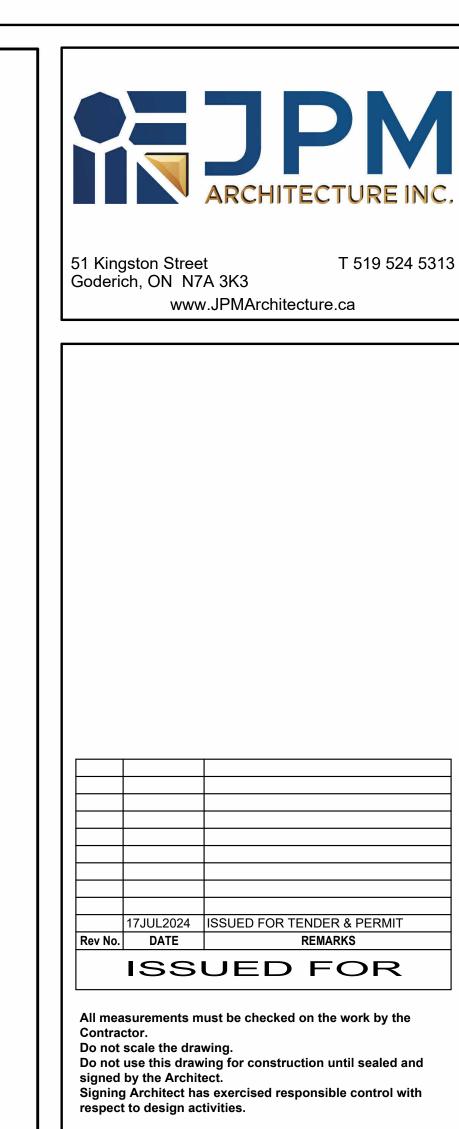
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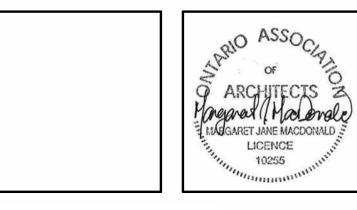
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04/30/24

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ARTHUR ARENA
INTERIOR RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO

ENLARGED FLOOR PLANS

TENDER & PERMIT

1/2" = 1'-0"

a - Detail number b - Location drawing

PM/NR check:

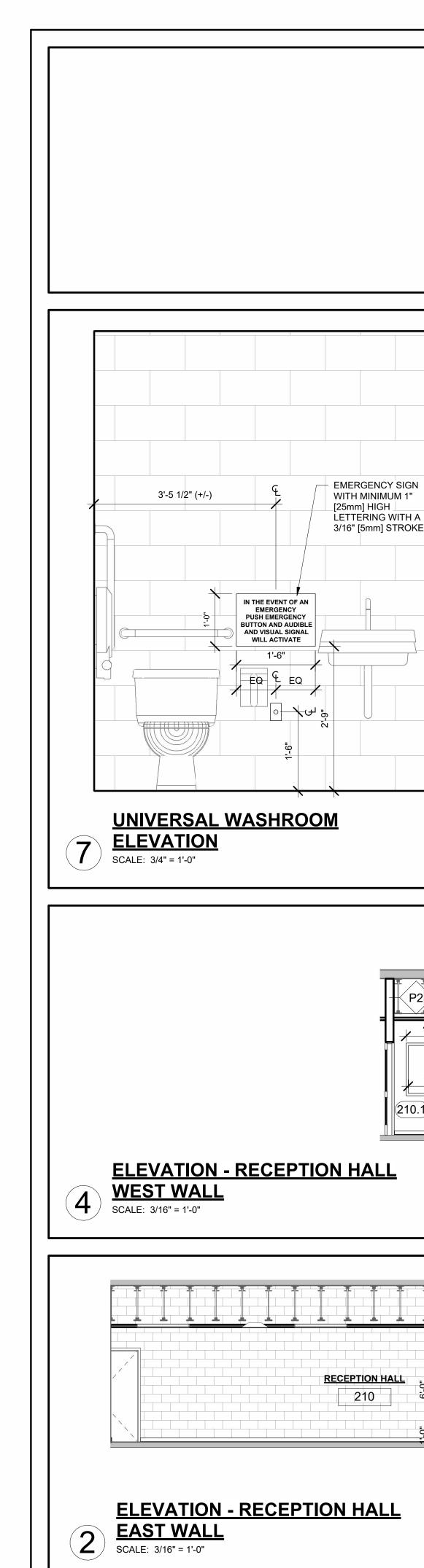
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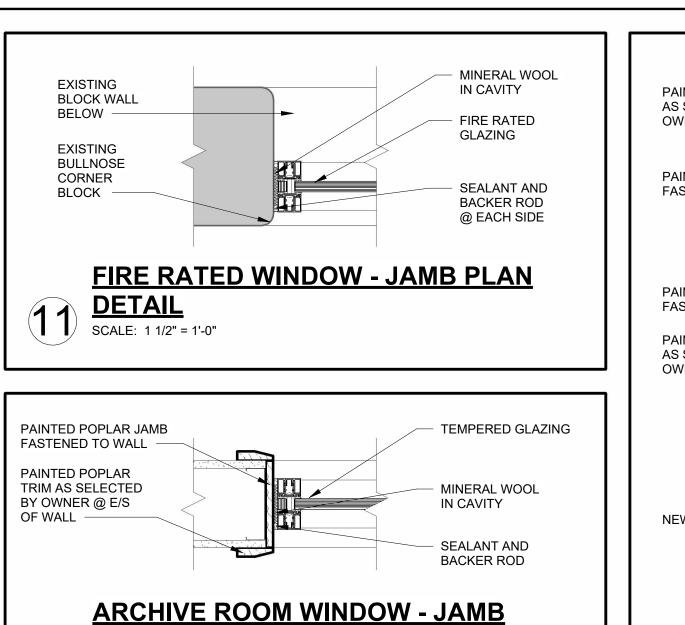
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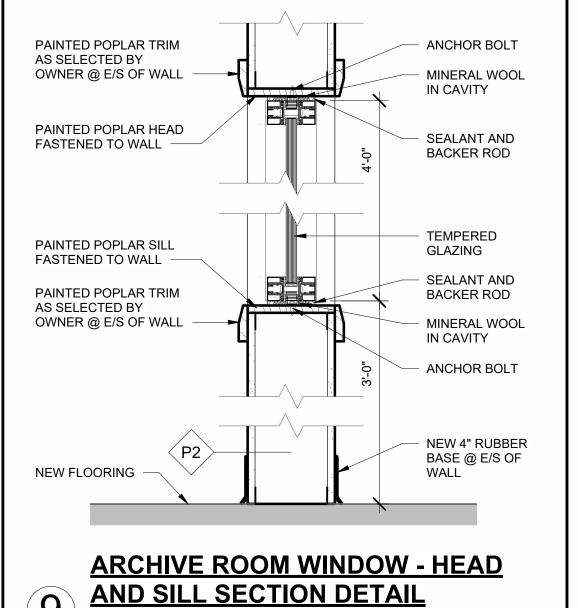
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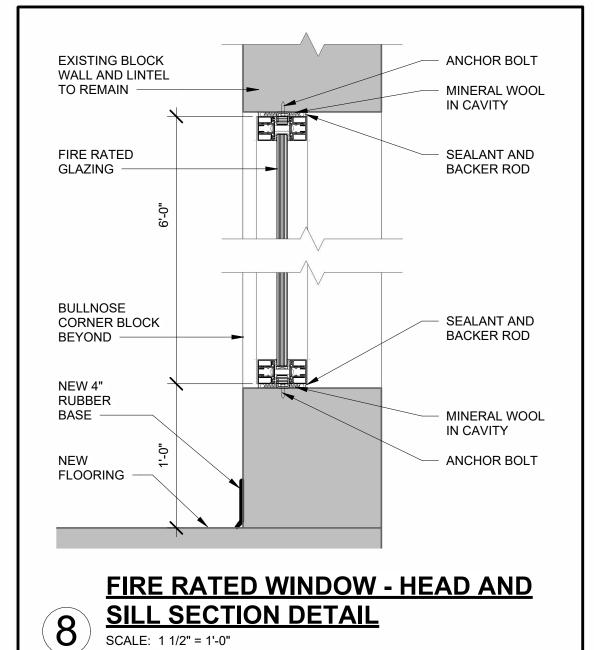
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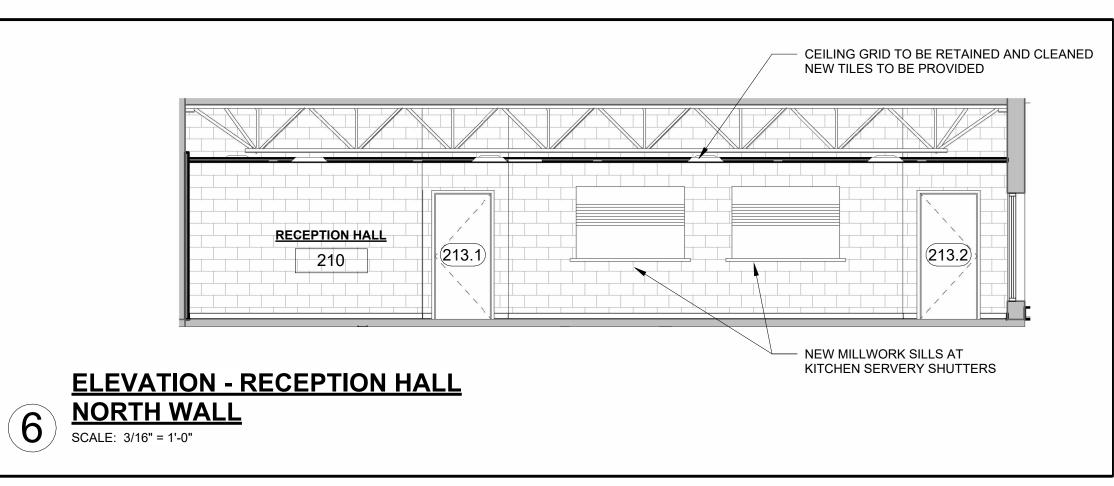


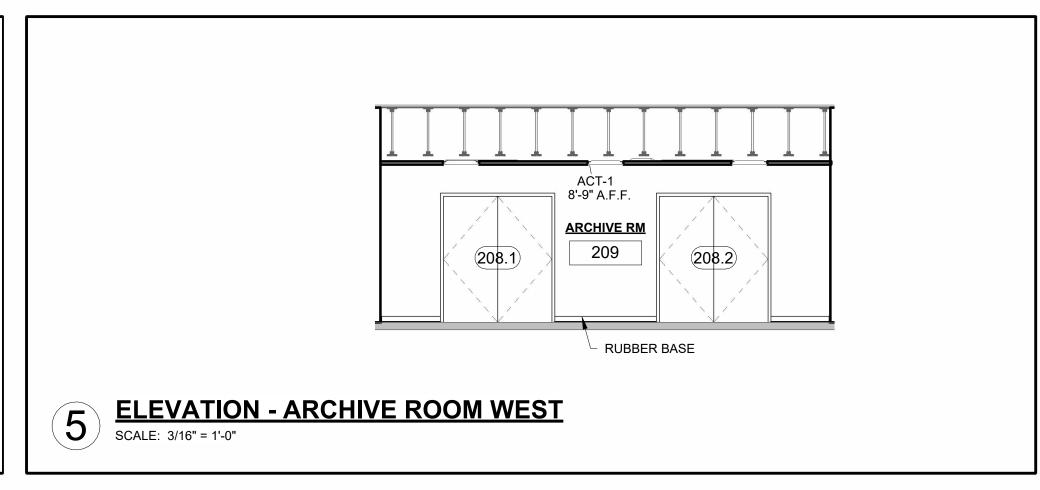


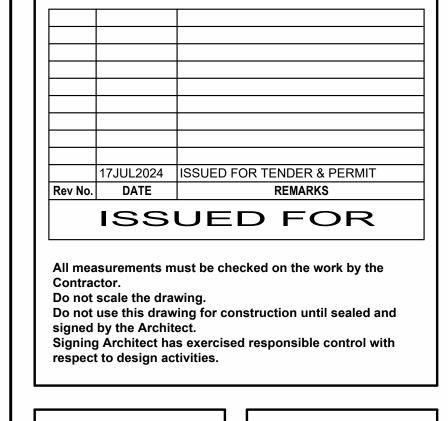


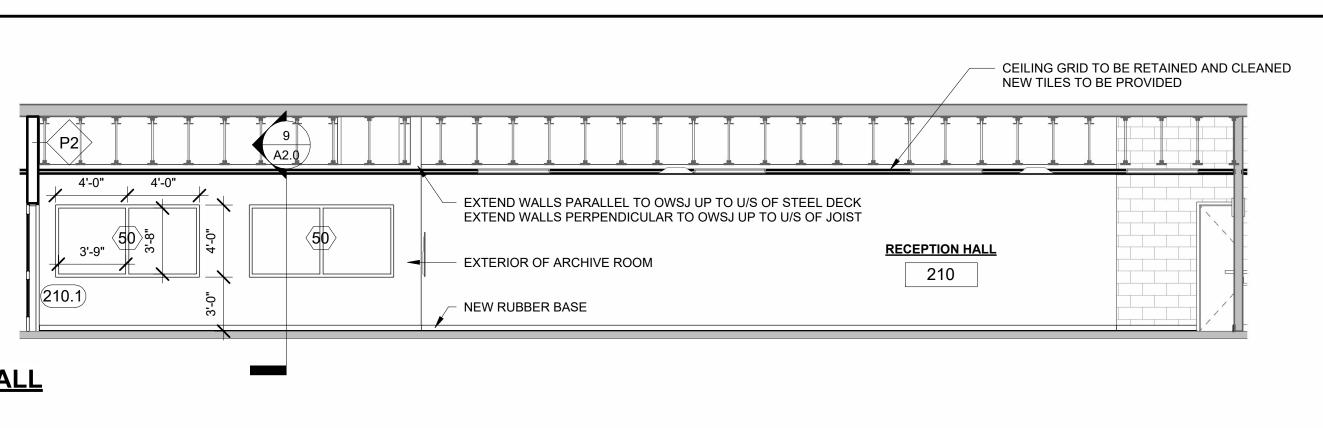


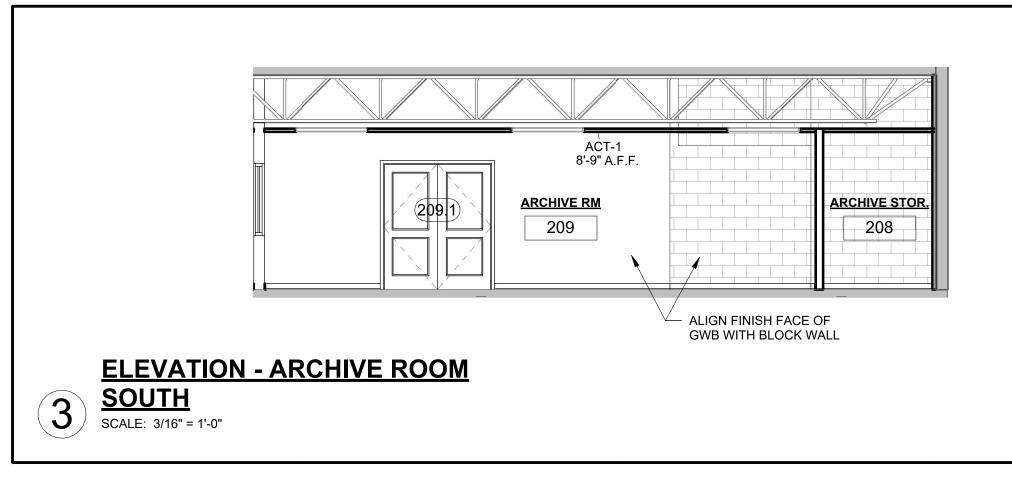








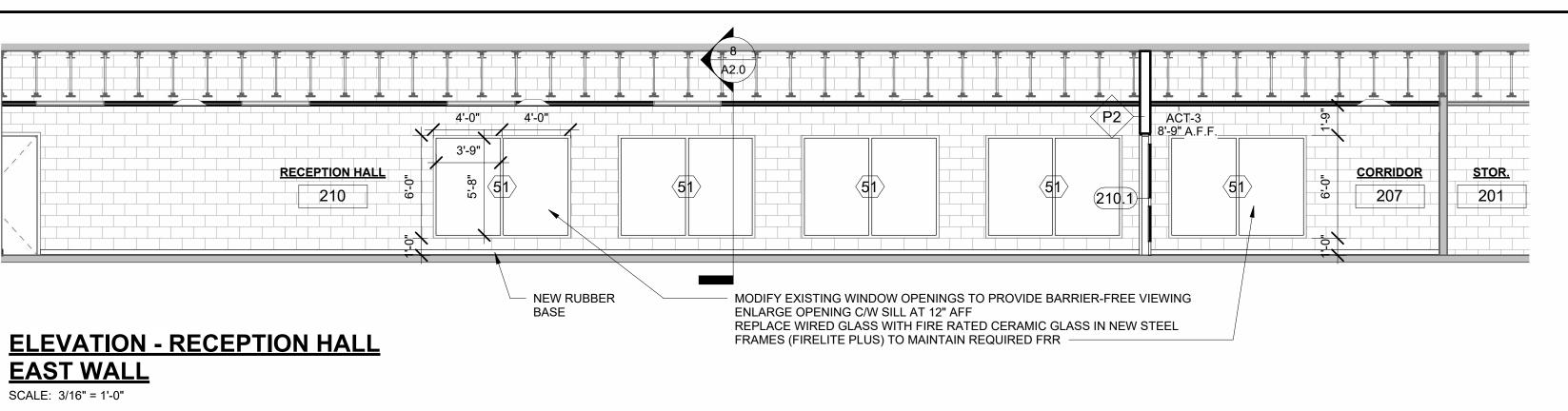


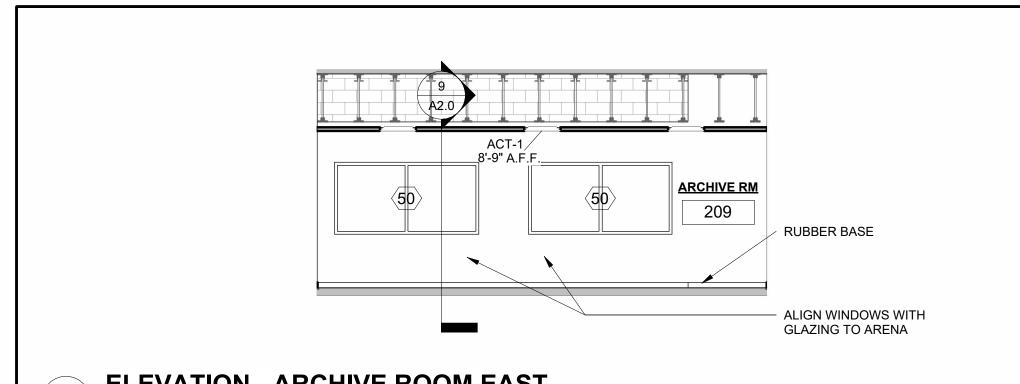




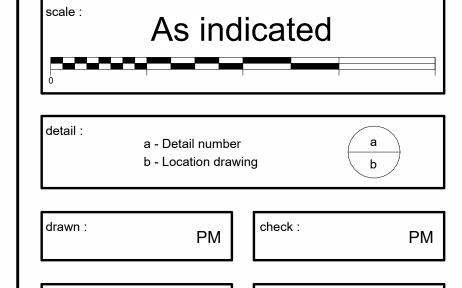
SECTIONS & INTERIOR ELEVATIONS

TENDER & PERMIT

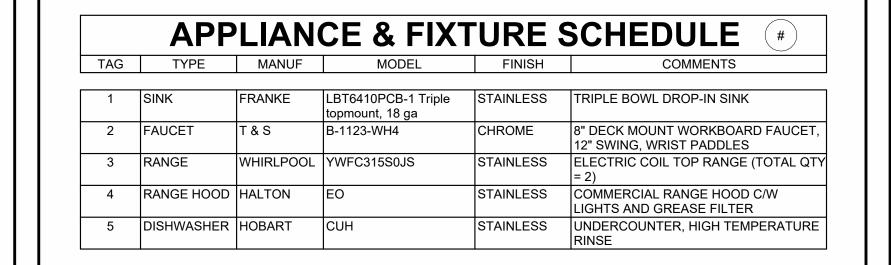


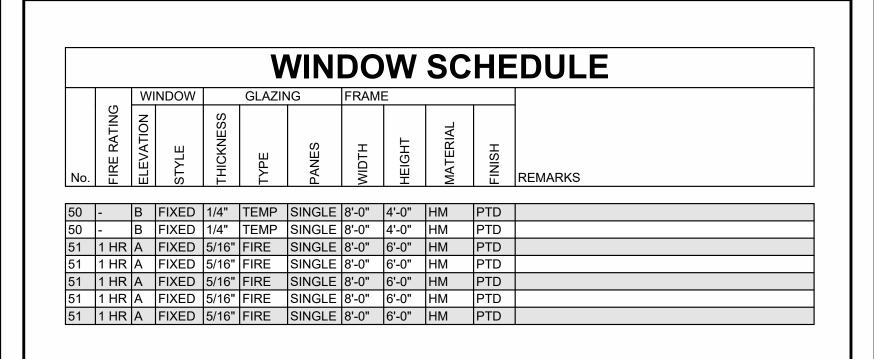


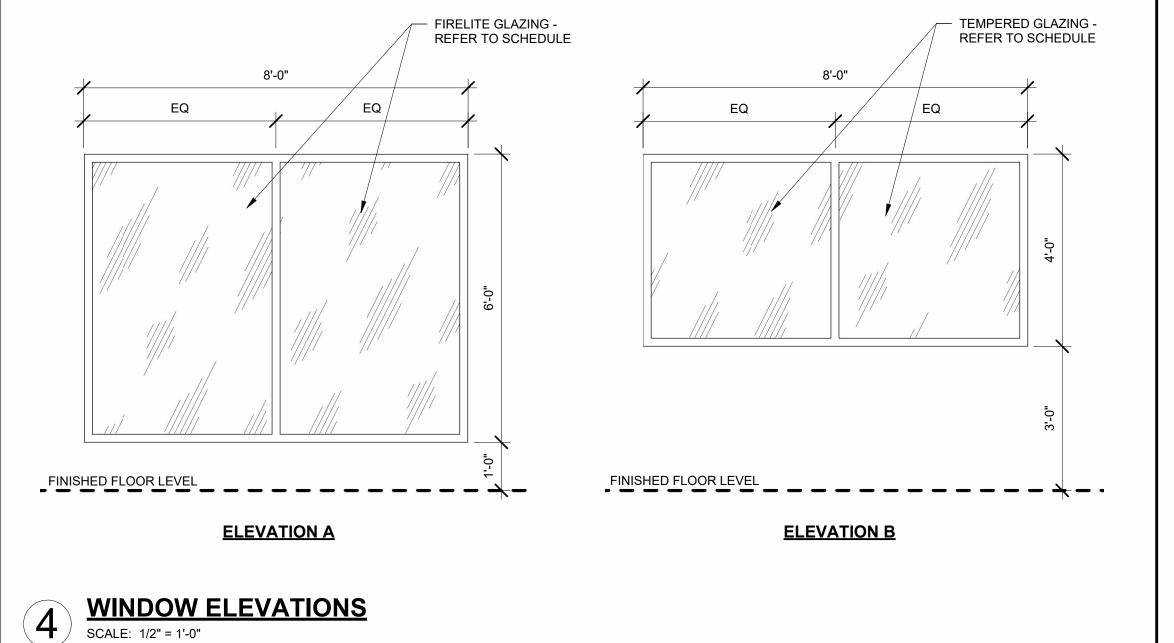
1 ELEVATION - ARCHIVE ROOM EAST SCALE: 3/16" = 1'-0"



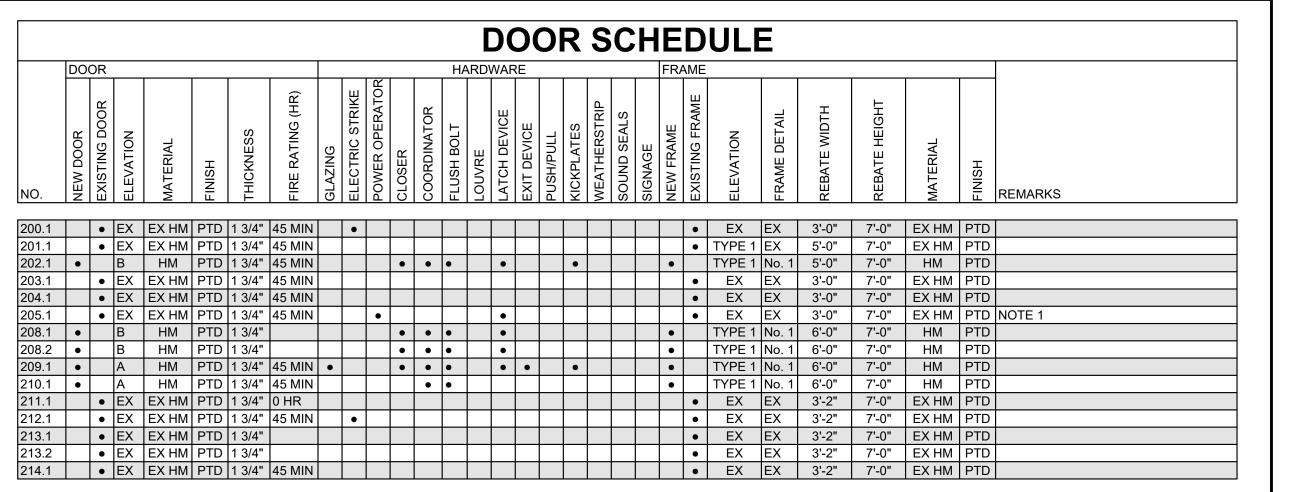
04/30/24 | sheet: | **A2.0**



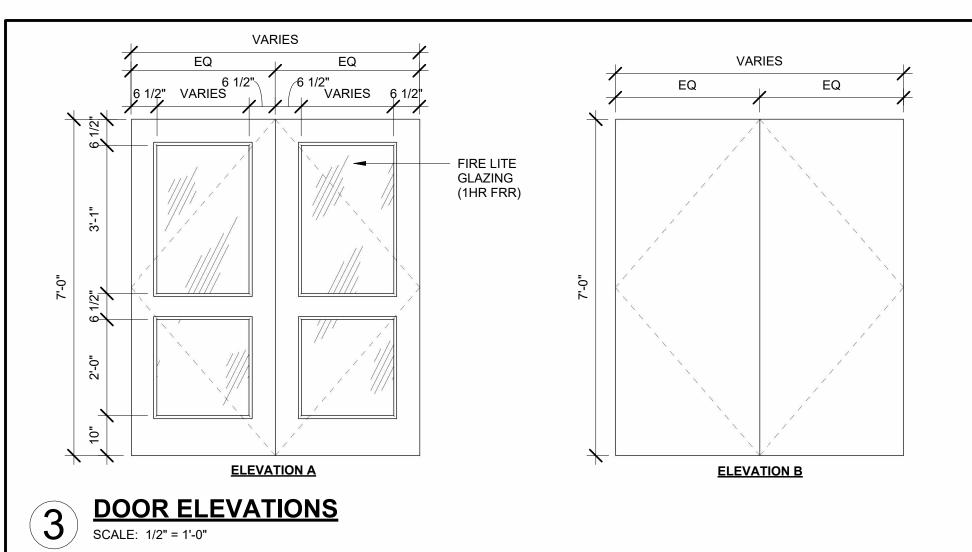


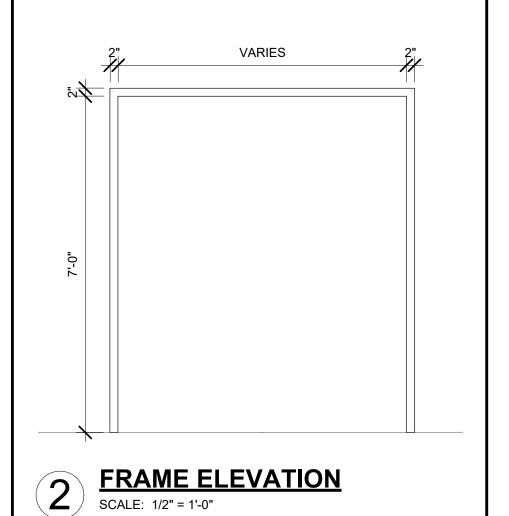




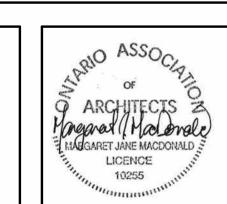


NOTE 1: PROVIDE NEW ELCTRONIC PUSH TO LOCK DOOR HARDWARE INTERCONNECTED WITH NEW EMERCENCY CALL SYSTEM - REFER TO ELECTRICAL DRAWINGS









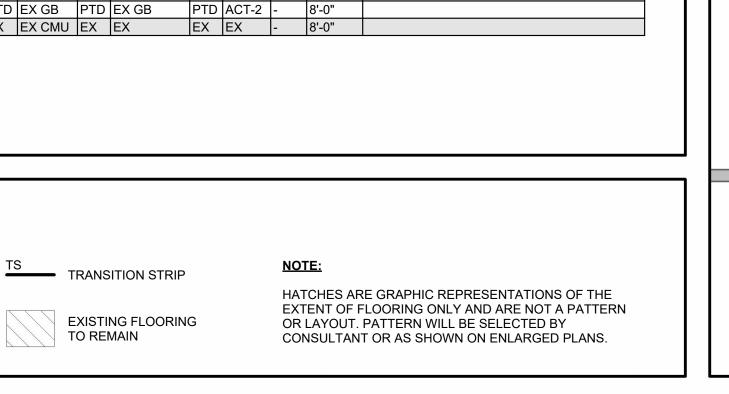
	FLOO	R	WALLS								CEILING	3		
			NORTH		SOUTH		EAS	Ť	WEST					
NO. ROOM NAME	MATERIAL	BASE	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	CEILING HEIGHT	REMARKS
200 STAIR	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"	
201 STOR.	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"	
202 STOR.	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"	
203 WOMENS W/R	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"	
204 MENS W/R	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"	
205 UNI W/R	SF	4" COVE	EX GB	EX	EX CMU	EX	EX GB	EX	EX GB	EX	ACT-1	-	8'-0"	
206 ELEV.	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"	
207 CORRIDOR	RT-2	4" RB	GB/ EX CMU	PTD			EX CMU	PTD	EX CMU	PTD	ACT-1	-	8'-0"	
208 ARCHIVE STOR.	RT-1	4" RB				PTD		PTD		PTD	ACT-1	-	8'-0"	PAINT WHITE W/ EGGSHELL FINISH
209 ARCHIVE RM	RT-1				GB/ EX CMU			PTD			ACT-1	-	8'-0"	PAINT WHITE W/ EGGSHELL FINISH
210 RECEPTION HALL	_			PTD			EX CMU		GB/ EX CMU		ACT-1	-	8'-0"	
211 JAN.	EX				EX	EX	EX		EX	EX	-	-	8'-0"	
212 STAIR	EX				EX	EX	EX				EX	-	8'-0"	
213 KITCHEN / BAR	SF	4" COVE			EX CMU						ACT-2	-	8'-0"	
214 CONTROL RM	EX	EX	EX CMU	EX	EX	EX	EX CMU	EX	EX	EX	EX	-	8'-0"	

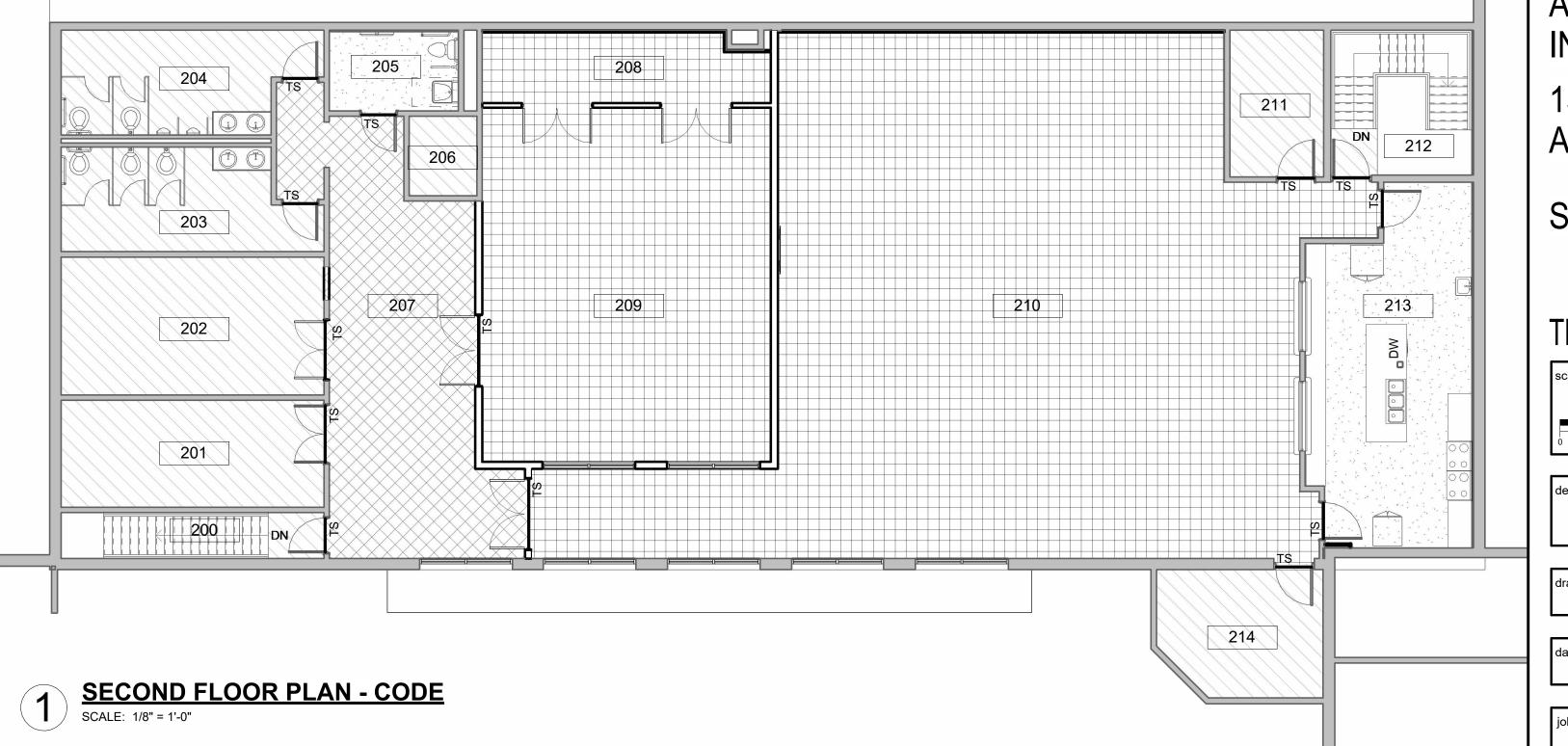
FLOOR FINISH LEGEND

RESILIENT TILE 1

VINYL SHEET SAFETY FLOORING (SV)

RESILIENT TILE 2

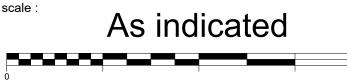


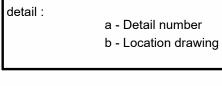


ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

SCHEDULES

TENDER & PERMIT

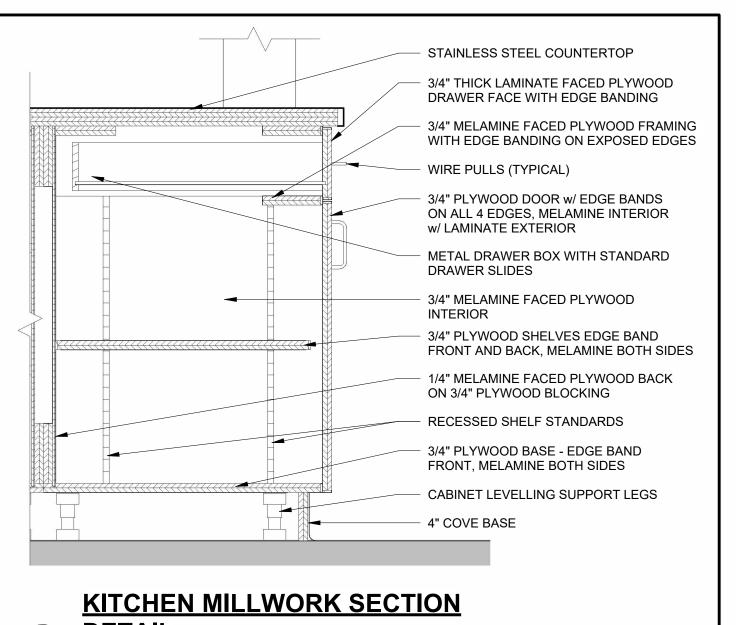


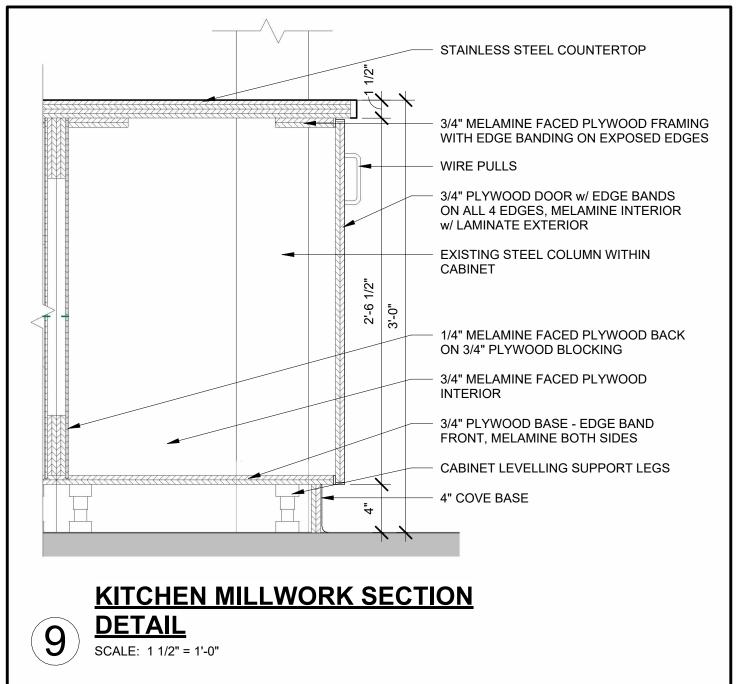


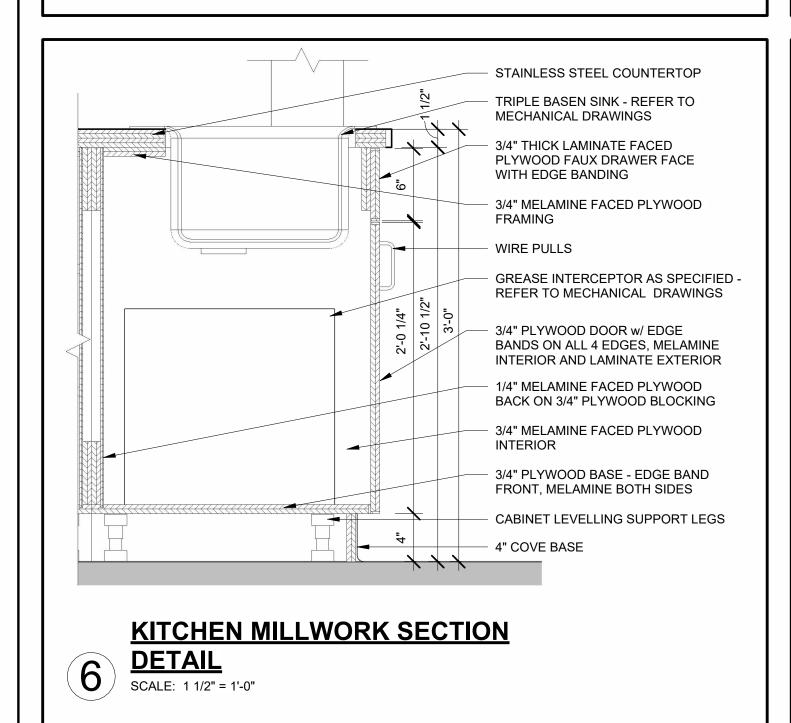
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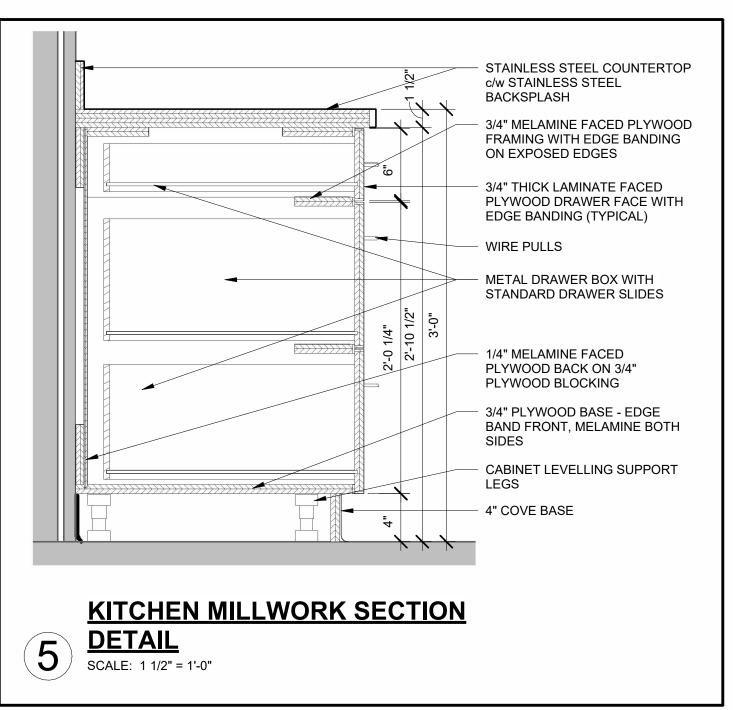
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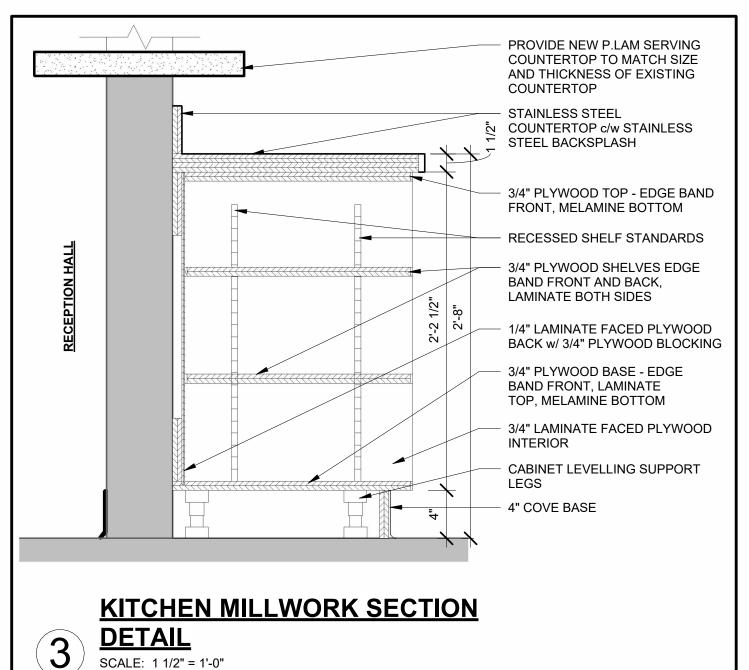


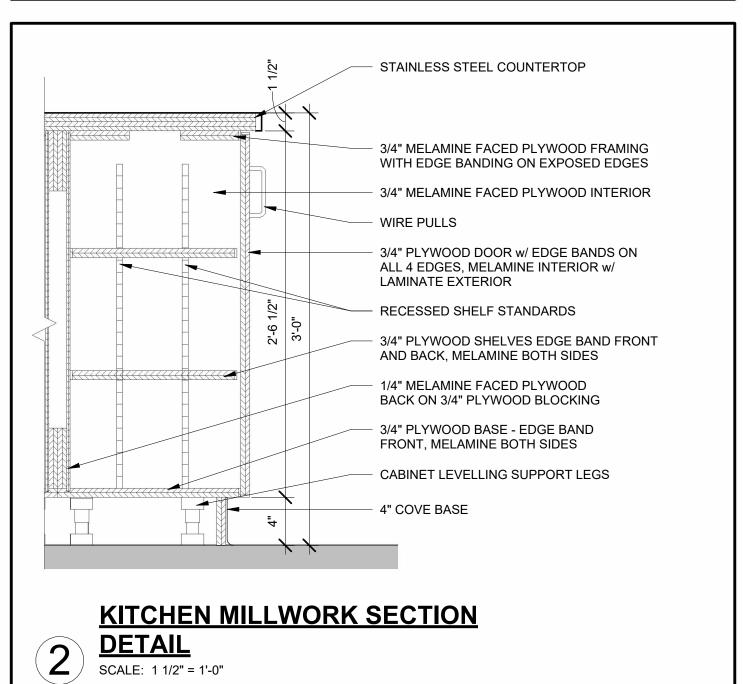


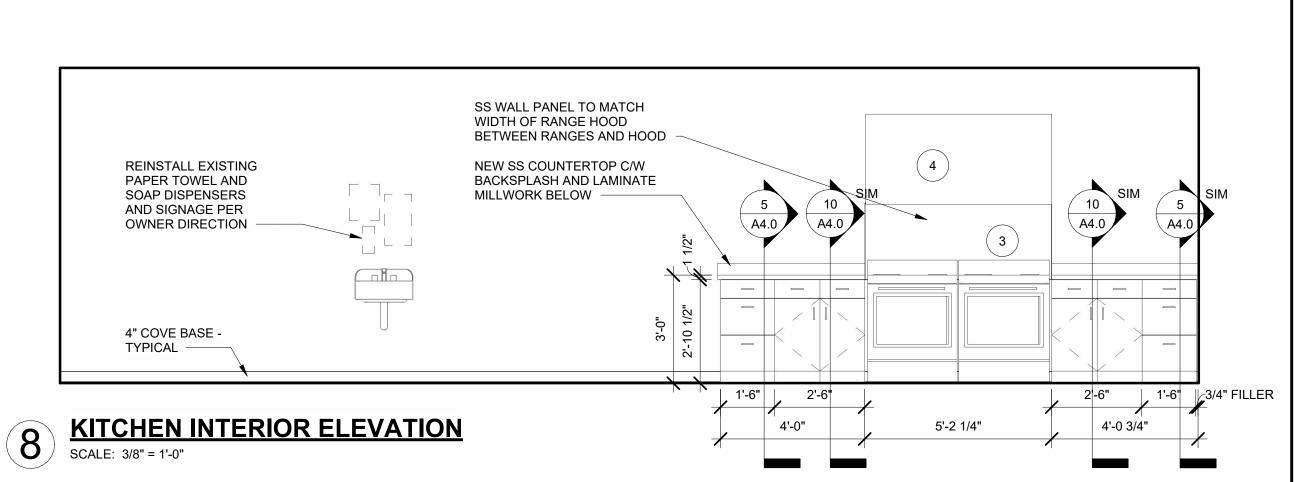


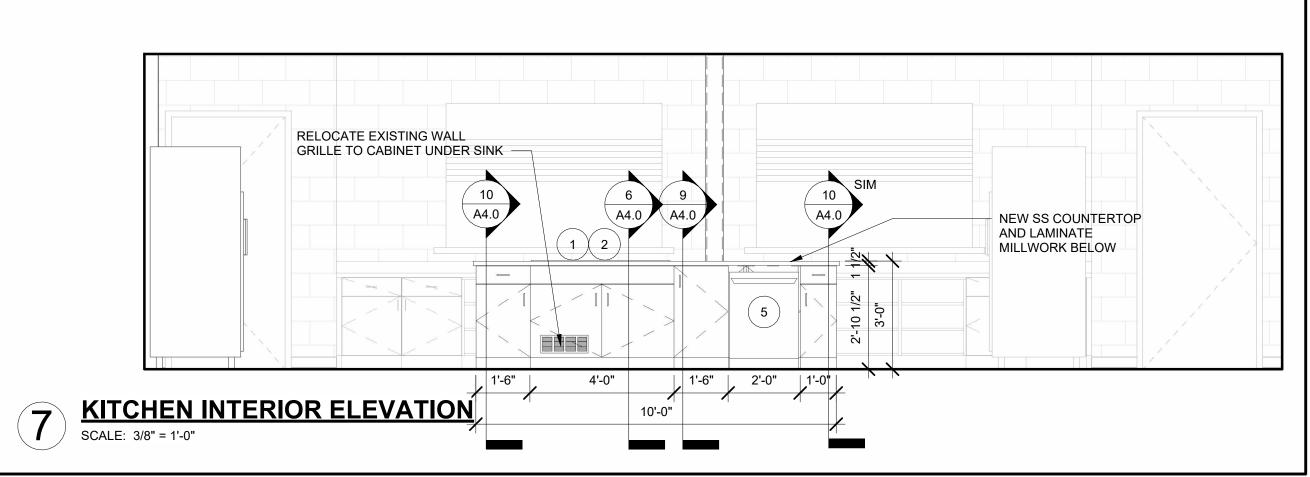
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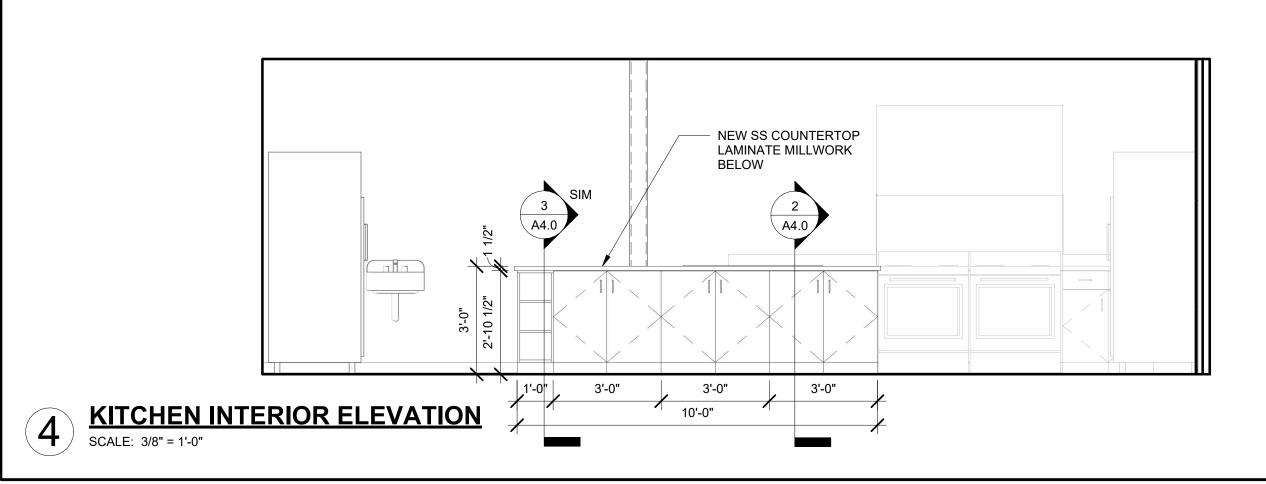


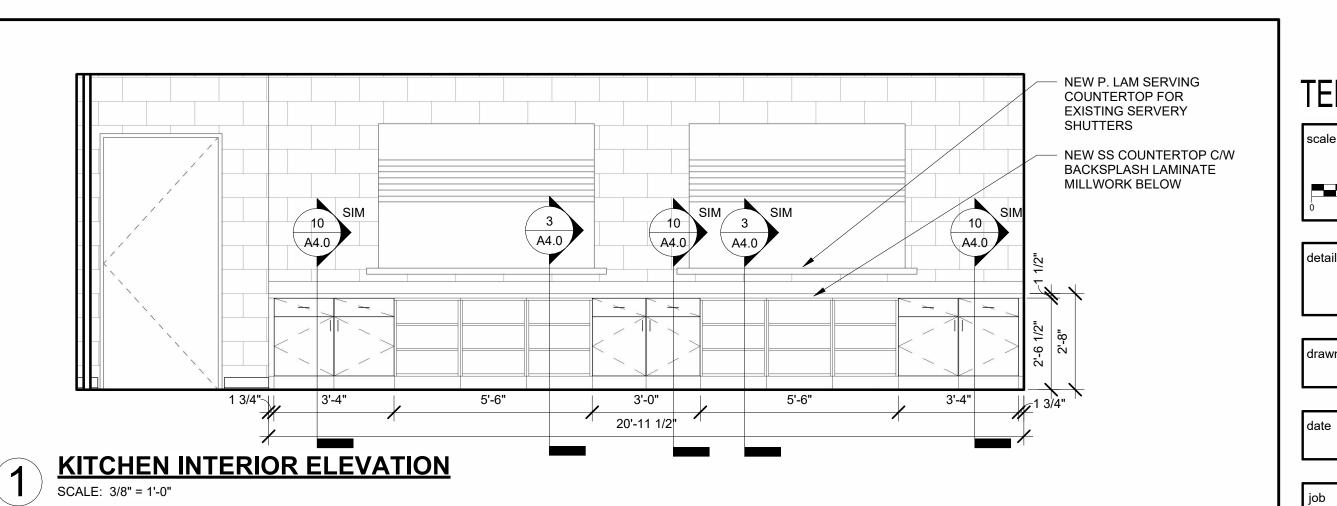




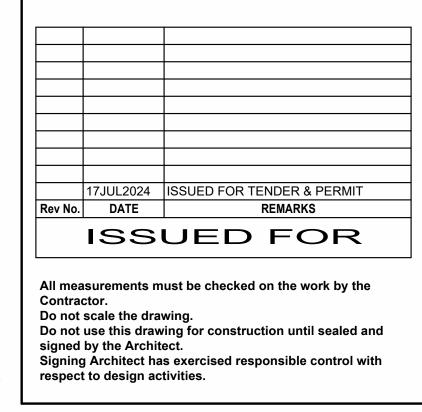


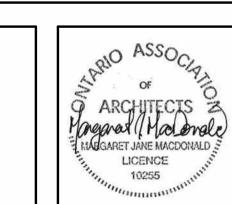






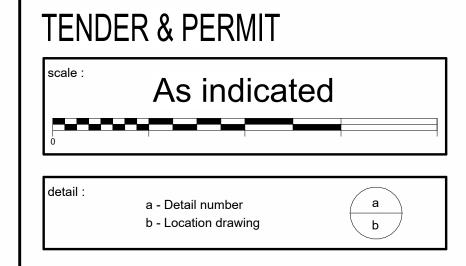






ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO

MILLWORK



wn : PM/NR check :

te : 04/30/24

2160.00

A4.0

CAPACITY INDICATED ON SCHEDULE REFER TO ELECTRIC DUCT HEATER SCHEDULE SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION. Size Air Temperature Electric Heat Manufacturer In Out Capacity Electrical & Model (*F) (*F) kw Voltage Remarks FRONT END SUPPLEMENTAL COIL 400 12x8 60 90 4.0 208/1/60 THERMOLEC SC SERIES CAPACITY INDICATED ON SCHEDULE REFER TO MUA SCHEDULE SPECIFICATION FOR CONSTRUCTION STANDARDS. ACCESSORIES AND ADDITIONAL INFORMATION. Capacity (cfm) Static (cfm) Rise(F) Size Collar Size Electric Heat Capacity Electrical kw Size Woodel Remarks MINI INLINE MAKEUP AIR UNIT 300 0.2 60 8" 6.0 208/3/60 THERMOLEC FER SERIES VVT CONTROL DAMPER SCHEDULE W/ELECTRIC REHEAT Remarks Size Size BYPASS DAMPER 1800 | 2800 | 14"x20" REFER TO ELECTRICAL DWGS SINGLE TERMINAL | 600 | 180 | 1020 | VAV-1.2 CONTROL BOX 12**"**ø 3.2 12x8 FOR VOLTAGE AND PHASE REFER TO ELECTRICAL DWGS VAV-1.3 | SINGLE TERMINAL | 1600 | 480 | 2720 | 16"ø | 8.6 | 12x8 3. PAINT INTERIOR OF DUCTWORK BEHIND GRILLE MATT BLACK (WHERE VISIBLE THRU GRILLE).

GRILLE SCHEDULE SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION. Equalizing Volume Description Grid Damper Manufacturer | SQUARE CEILING DIFFUSER | YES | NONE | EH PRICE SCDA MULTICONE, FULLY ADJUSTABLE, 24x24, STEEL CEILING DIFFUSER W/ROUND NECK. SUITABLE FOR LAY-IN T-BAR CEILING, OR DRYWALL CEILING WHEN C/W FRAME. SUPPLY GRILLE NO NONE EH PRICE 32-FLA DOUBLE DEFLECTION, 1/2" SPACING, ALUMINUM AIRFOIL BLADES PARALLEL TO LONG DIMENSION, C/W 1 1/4" FLAT BORDER & SCREWED FASTENING FOR SURFACE R1 | CEILING RETURN GRILLE | NO | NONE | EH PRICE 80-CH 1/2x1/2x1/2 ALUMINUM EGGCRATE CORE, (NON-DUCTED) C/W CHANNEL BORDER FOR LAY-IN T-BAR CEILING. R2 CEILING RETURN GRILLE NO NONE EH PRICE 80-FA $1/2 \times 1/2 \times 1/2$ ALUMINUM EGGCRATE CORE,

GENERAL DIFFUSER/GRILLE NOTES: . ACCEPTABLE MANUFACTURERS: EH PRICE, NAILOR, TITUS, KRUEGER, CARNES, METALAIRE, TUTTLE & BAILEY 2. GRILLE COLOURS ARE SELECTED BY ARCHITECT FROM STANDARD COLOUR CHART, UNLESS OTHERWISE NOTED.

NO NONE EH PRICE 80-FA

(DUCTED)

E1 EXHAUST GRILLE

(DUCTED)

<u>GRE</u>	ASE INTERCEP	TOR SO	CHEDULE		
Item	Туре	Flow Rate GPM(LPM)	Grease Capacity Ibs (kg)	Acceptable Manufacturer	Notes
GI-1	GREASE INTERCEPTOR	25 (95)	72 (32.6)	ENDURA 3925XTA02	RECESSED UNDER CABINET INSTALLATION, SOLDERED HOMOPOLYMER TYPE POLYPROPYLENE INTERCEPTOR, CAN BE SOLDERED OR THERMOFORMED
GI-2	GREASE INTERCEPTOR	10 (38)	31.9 (14.5)	ENDURA 3910A02	RECESSED UNDER CABINET INSTALLATION, SOLDERED HOMOPOLYMER TYPE POLYPROPYLENE INTERCEPTOR, CAN BE SOLDERED OR THERMOFORMED

1. ACCEPTABLE MANUFACTURERS: CAN-AQUA, JRC PLASTIC INTERUPTORS AND PIT BOXES, JONESPEC, CONTOUR, ENDURA 2. RETENTION TYPE INTERCEPTOR, TESTED AND RATED IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION ACT (EPA), COMPLETE WITH FIRE RESISTANT POLYPROPYLENE CONSTRUCTION FOR MOUNTING FLUSH WITH FLOOR WITH ALUMINUM NON-SKID COVERS ON FLOOR COMPLETE WITH FLOW CONTROL FITTING SUITABLY VENTED, AND EXTENSION. 3. CAPACITY: 3.15 L/S (50 GPM) INLET & OUTLET.

4. THE UNIT SHALL BE ABLE TO TREAT EFFLUENT TO LESS THAN 100 MG/LITRE OF OIL AND GREASE. 5. THE GREASE INTERCEPTOR SHALL HAVE A MINIMUM OF FIVE MINUTES RETENTION TIME.

2. PROVIDE 24" TALL PREFABRICATED, INSULATED ROOF CURB FOR ALL ROOF MOUNTED FANS.

Item	Туре	Capacity	ESP	Fan Speed		Motor	Acceptable	Description
item	Турс	cfm	in wc	rpm	hp	Voltage	Manufacturer	Везсприон
EF-1	KITCHEN EXHAUST FAN	600	0.2	1725	1/10	120/1/60	GREENHECK CUE-090	SPUN ALUMINUM MOTOR COVER & FAN SHROUD, UPBLAST, W/BE DRIVE CENTRIFUGAL BACKWARD INCLINED NON-STICK FAN, GALV BIRD SCREEN, VENTED & INSULATED EXTENDED ROOF CURB, & GREASE TRAP. SUITABLE FOR NFPA-96 INSTALLATION.

	EXH	AUST HOOD	SCHED	<u>)ULE</u>			
	Item	Discription	Туре	Dimensions	Exhaust Size	Manufacturer & Model	Description
ı	H00D-1		DRY GREASE EXTRACTOR	60"(L) x 30"(W)	16" × 16"		C/W S.S. SHROUD TO CEILING AND DUCT COLLAR, INTEGRAL FIRE SUPPRESSION, REMOTE ON/OFF SWITCH (CONNECTED TO EF-1). PROVIDE LIGHT AS SPECIFIED.

GENERAL NOTES

CAPACITY INDICATED ON SCHEDULE REFER TO

C/W 1 1/4" FLAT BORDER & SCREWED FASTENING FOR SURFACE MOUNTING.

C/W 1 1/4" FLAT BORDER & SCREWED FASTENING FOR SURFACE MOUNTING.

1/2x1/2x1/2 ALUMINUM EGGCRATE CORE,

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED SPECIFICATION.
- SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS. CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED. CO-ORDINATE VENT LOCATION(S) WITH GENERAL CONTRACTOR. MAINTAIN MIN 14'-0" FROM ANY AIR INLET. INSTALL VENT PIPING HIGH IN JOIST SPACE.
- C. WHERE DUCTWORK PENETRATES CORRIDOR WALL, CENTER DUCT(S) BETWEEN OWSJ.
- CO-ORDINATE WITH THE GENERAL CONTRACTOR ANY OWSJ BRIDGING/CROSS BRACING RELOCATION OR REMOVAL/REPLACEMENT REQUIRED FOR INSTALLATION OF DUCTWORK.
- CONTRACTOR TO LOCATE ISOLATION VALVES / FREEZE PIPING / OR OTHERWISE DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED.
- UPON COMPLETION OF THE PROJECT OR UPON COMPLETION OF EACH INDIVIDUAL PHASE OF THE PROJECT THE CONTRACTORS SHALL PROVIDE THE FOLLOWING CERTIFICATES BEFORE CONFORMANCE LETTERS ARE ISSUED BY THE CONSULTANT:
 - POTABLE WATER TEST (SEE SPEC 15142/22 11 16 PART 3)
 - BACKFLOW TEST CERTIFICATE(S) FOR ALL TESTABLE DEVICES - COPY OF MANDATORY TSSA/ČŚA-B149 GAS PRESSURE TEST TAG
 - NFPA-13 SPRINKLER CONTRACTOR'S MATERIAL & TEST CERTIFICATE - FIRE PROTECTION ENGINEER'S INSPECTION/CONFORMANCE LETTER
 - NFPA-96 KITCHEN HOOD FIRE SUPPRESSION SYSTEM TEST
- ALL CERTIFICATES ARE TO BE SUBMITTED TOGETHER IN A SINGLE PACKAGE.

Item	Description	Item	Description
	- ITEM TO BE REMOVED	FEC	RECESSED CABINET MOUNTE FIRE EXTINGUISHER
	CUT EXISTING & CONNECT NEW PIPING	▼ FE	WALL MOUNTED FIRE EXTINGUISHER
-	- FLOW DIRECTION	o ^{co}	FLOOR CLEANOUT
	POTABLE COLD WATER	——I co	LINE CLEANOUT
	POTABLE HOT WATER	PRV	PRESSURE REDUCING VALVE
	- POTABLE HOT WATER RECIRC.	_C D	THERMOSTAT (WITH GUARD WHERE INDICATED)
- SAN-EX-	- EXISTING SAN ABOVE FLOOR)))))	TURNING VANES
-SAN-EX-	- EXISTING SAN BELOW FLOOR		SUPPLY AIR DUCT
- — SAN — -	- SANITARY ABOVE FLOOR		RETURN/EXHAUST AIR DUCT
	SANITARY BELOW FLOOR	-	ACOUSTIC DUCT LINING
STM-EX.	_ EXISTING STM ABOVE FLOOR		THERMAL INSULATION
SŢM-EX.	_ EXISTING STM BELOW FLOOR		BRANCH LINE SPIN-IN COL C/W BALANCING DAMPER
-STM— — · -	- STORM ABOVE FLOOR		TRUNK MAIN BRANCH COLL C/W BALANCING DAMPER
-STM	STORM BELOW FLOOR	— BD	BALANCING DAMPER
——CD——	CONDENSATE DRAIN	~~~ M	MOTORIZED DAMPER
	- VENT	FD FD	FIRE DAMPER
FD %	FLOOR DRAIN	FSD	FIRE/SMOKE DAMPER
O-P-	TRAP PRIMER	SD	SMOKE DAMPER
	TEE CONNECTION	─ FF	FIRE FLAP
c —	PIPE DOWN	1	RECTANGULAR DUCTWORK
o —	PIPE UP		RIGID ROUND DUCT
	SCREWED OR WELDED PIPE CAP		FLEXIBLE ROUND DUCT
₩	PLUG VALVE	A	ACOUSTICAL, FLEXIBLE ROUDUCT
lōl	BALL VALVE	——AL ——	ALUMINUM DUCT
S 0	SOLENOID VALVE	—ss—	STAINLESS STEEL DUCT
4 C	VALVE ON RISER	Type Size Capacity	DIFFUSER/GRILLE SIZE (imp TYPE & CAPACITY (cfm)
BV	BALANCING VALVE		



51 Kingston Street T 519 524 5313 F 519 524 5253 Goderich, ON N7A 3K3 www.AllanAvisArchitects.com

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be

returned at the completion of the project. These documents are

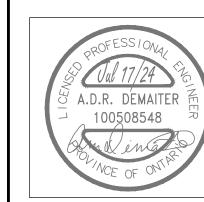
not to be duplicated or copied without the consent of the

Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.

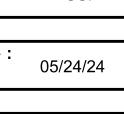


55 Northland Road, Waterloo, ON N2V 1Y8 Phone: 519-725-3555 Website: deiassociates.ca Project Number: 24061

2024-07-17 ISSUED FOR TENDER & PERMIT 2024-06-25 ISSUED FOR 90% REVIEW 2024-05-23 ISSUED FOR 50% REVIEW Rev.No. DATE REMARKS ISSUED FOR

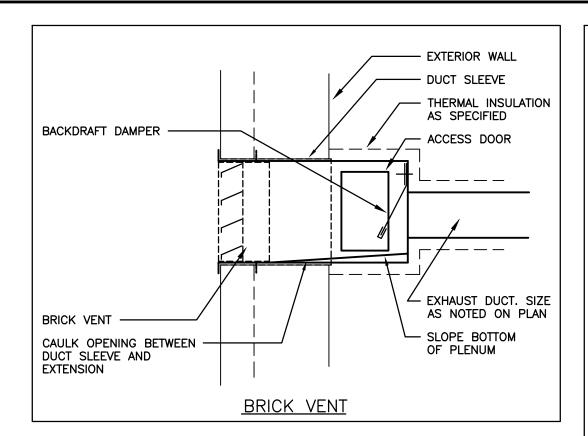


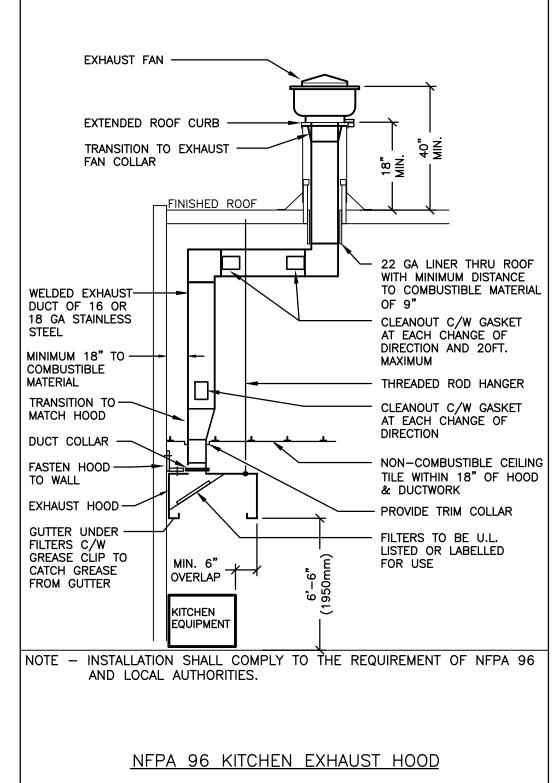
ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO MECHANICAL LEGENDS, NOTES, AND SCHEDULES

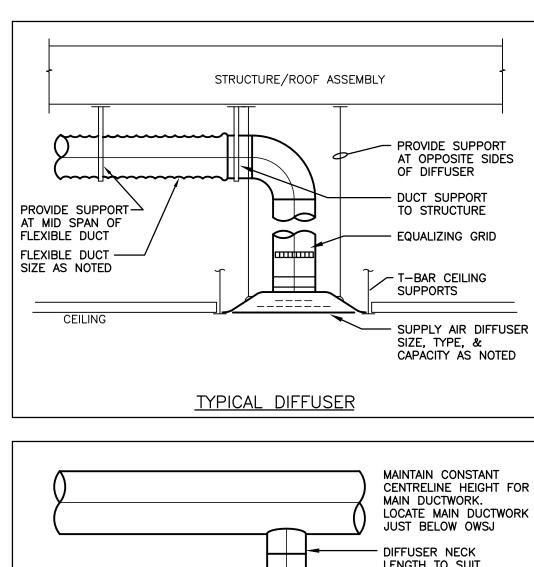


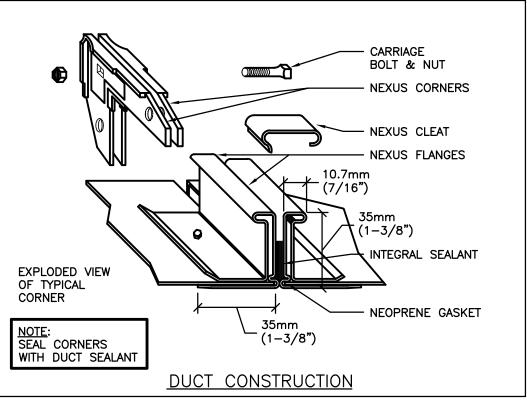
PLUMBING FIXTURE SCHEDULE

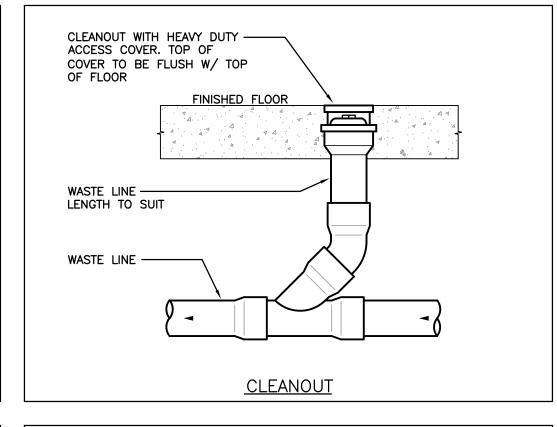
lkama .	Туре	Con	nectio	n Sizes		Fixture		Trim		Accessories
Item	Туре	HW CW	TW	Drain Ven	t Acceptable Manufacturer	Fixture Description	Acceptable Manufacturer	Trim Description	Acceptable Manufacturer	Accessory Description
S-1	STAINLESS STEEL TRIPLE COMPARTMENT SINK	1/2 1/2		1 1/2 1 1/	74 FRANKE LBT6410PCB-1 NO ALTERNATIVES	SINK: TRIPLE COMPARTMENT, LEDGE-BACK. FROM 1.0 mm (20 GAUGE) THICK TYPE 302 POLISHED STAINLESS STEEL, SELF-RIMMING, UNDERCOATED, CLAMPS. OVERALL SIZE: 1178 mm X 522 mm X 254 mm (46-3/8" X 20 9/16" X 10"). COMPARTMENT SIZE: 356 mm X 406 mm X 254 mm (14" X 16" X 10")	T&S B-1123-WH4 NO ALTERNATIVES	FAUCET: 8" DECK MOUNTED, CHROME PLATED BRASS BODY, WITH 12" SWING SPOUT, AERATOR, AND 4" WRIST ACTION HANDLES. ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 8.35 I/min (2.2 GPM) AT 413 kPA (60 psi).		WASTE FITTING: INTEGRAL STAINLESS STEEL BASKET STRAINER/STOPPER, TAILPIECE, CAST BRASS P-TRAP WITH CLEANOUT.
FD-1	FLOOR DRAIN FOR SAFETY SHEET FLOORING			NOTED 1 1/	ZURN ZN-211-R6 MIFAB CONTOUR WATTS	GENERAL DUTY CAST IRON BODY, ADJUSTABLE STRAINER, NICKEL BRONZE STRAINER, AND CLAMPING COLLAR. USE SQUARE STRAINER IN TILED AREAS AND ROUND STRAINER ELSEWHERE. C/W TRAP PRIMER				
HD-1	HUB DRAIN			NOTED 1 1/	ZURN Z415 C/W Z-400-S MIFAB F1100-C-DD CONTOUR C2000-F WATTS FD-100-C-DD	GENERAL DUTY HUB DRAIN CAST IRON BODY, CLAMPING COLLAR, NICKEL-BRONZE ADJUSTABLE HEAD HUB. C/W TRAP PRIMER.				

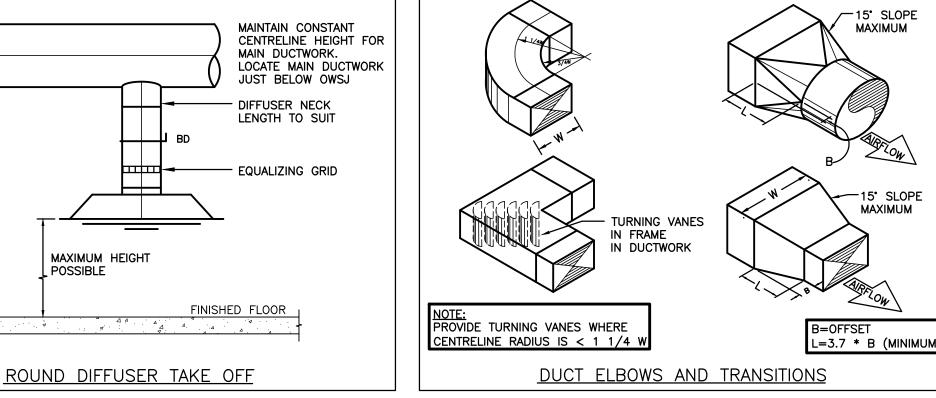


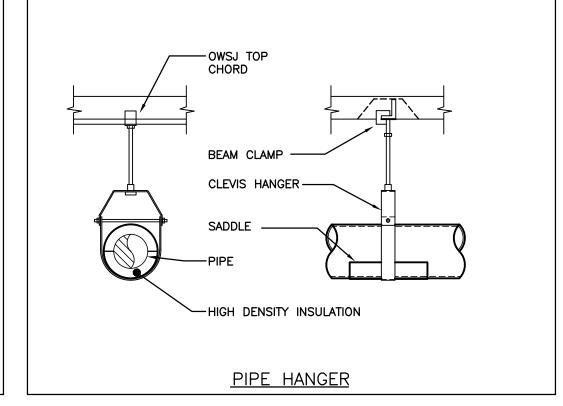


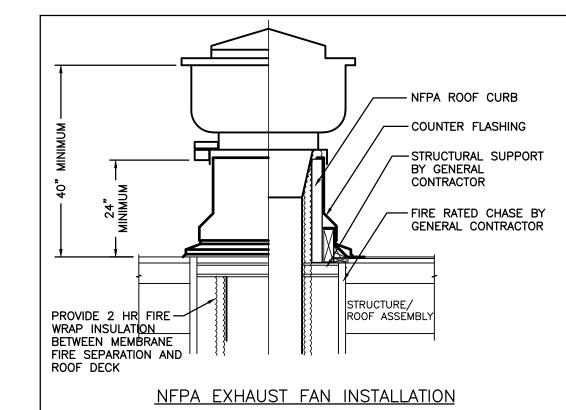


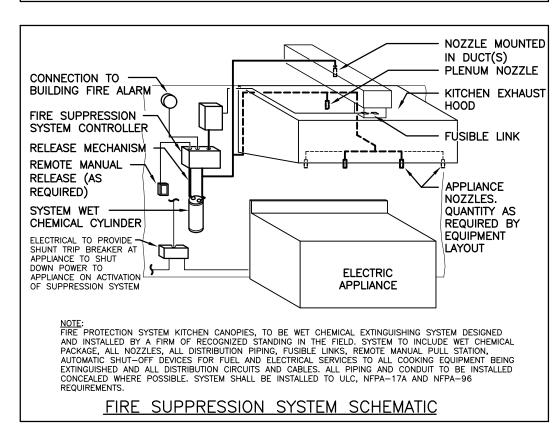


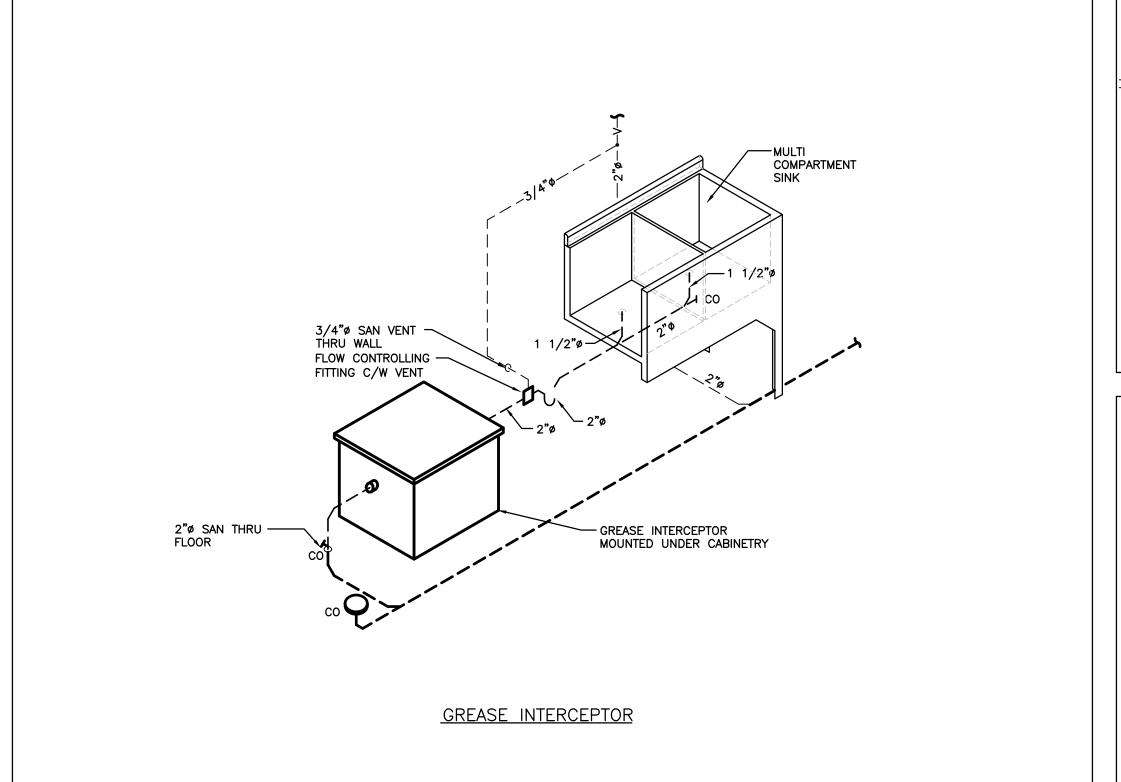


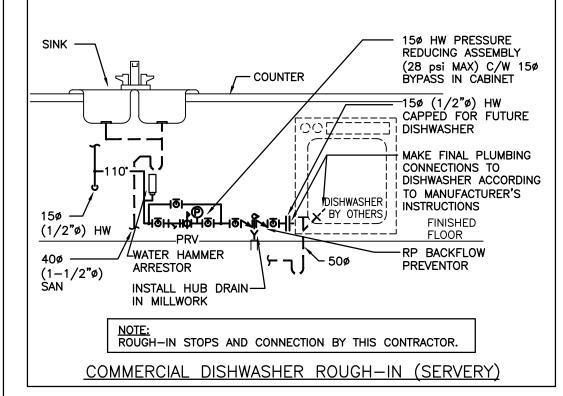


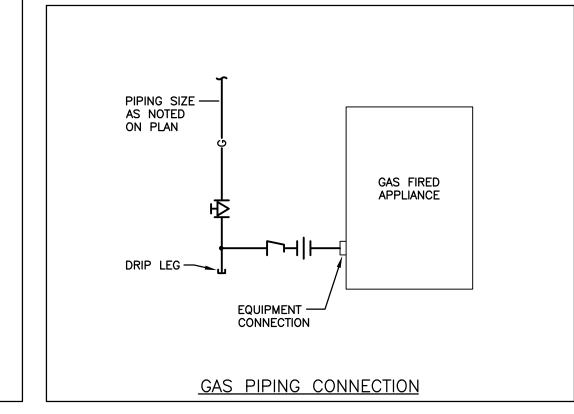














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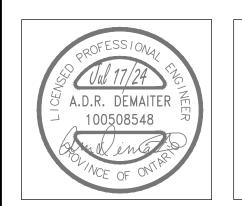
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The contractor shall verify all dimensions and report all errors



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3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW
Rev.No.	DATE	REMARKS
15	SSL	JED FOR



ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
MECHANICAL DETAILS

drawn :

check :

date: 05/24/24

ob : 24061

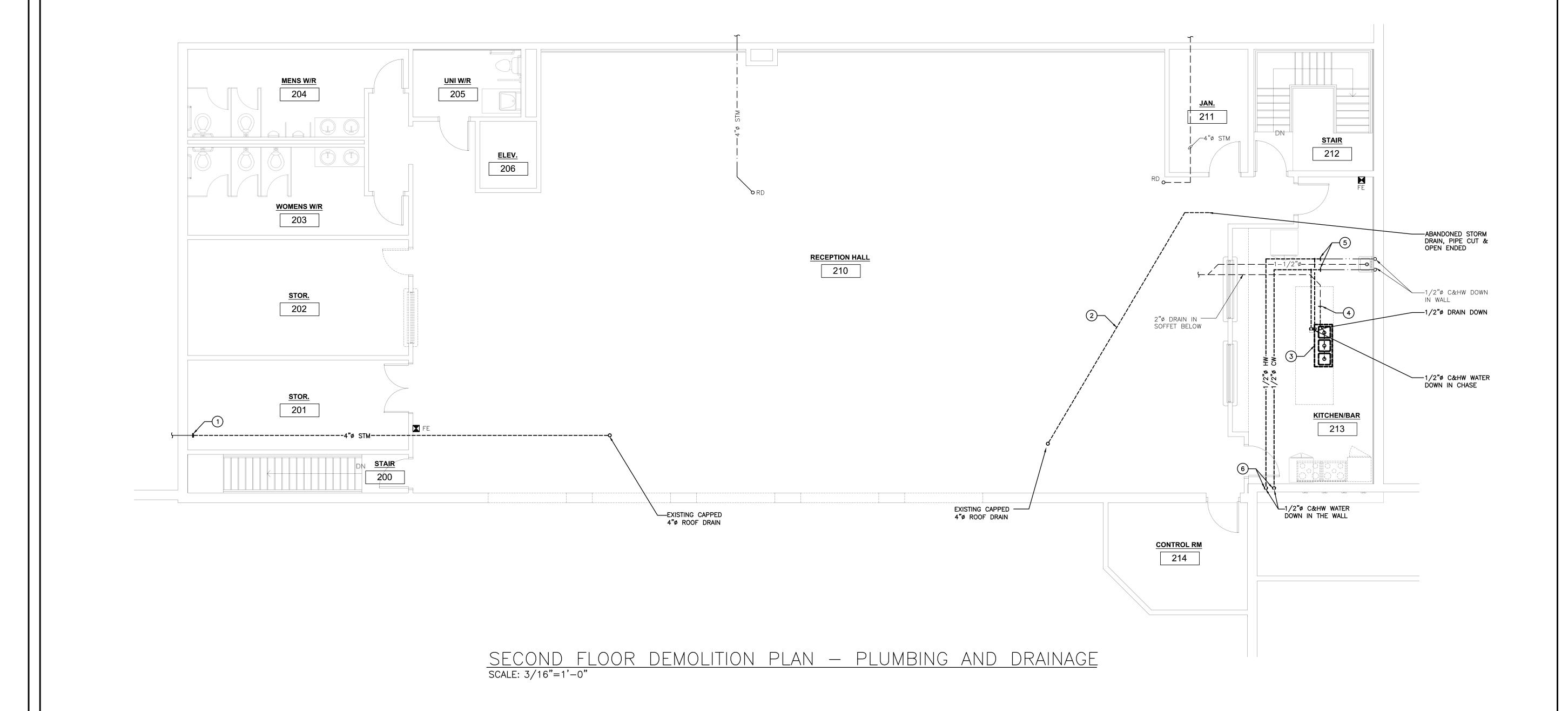
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SPECIFIC DEMOLITION NOTES

- 1. CUT AND CAP PORTION OF ACCESSIBLE ABANDONED STORM DRAINAGE PIPE. REMOVE BEYOND COMPLETE.
- 2. REMOVE EXISTING ABANDONED STORM PIPING.
- 3. EXISTING SINK TO BE REMOVED COMPLETE. CUT EXISTING WATER CONNECTION AND PREPARE FOR NEW SINK INSTALLATION.
- 4. CUT EXISTING SANITARY LINE AND REMOVE VERTICAL PIPING. PREPARE FOR NEW CONNECTION. CO-ORDINATE WITH ARCHITECTURAL TRADE TO SAWCUT FLOOR AS REQUIRED FOR INSTALLATION OF NEW DRAINS BELOW SLAB.
- CUT EXISTING 1/2"ø C&HW AND PREPARE FOR NEW CONNECTION.
- 6. REMOVE EXISTING 1/2"Ø C&HW BACK LOCATION WHERE PIPE IS LARGER. LEAVE HANGERS IN PLACE FOR INSTALLATION OF NEW 1"Ø PIPE.

GENERAL DEMOLITION NOTES

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED
 AS BEING REMOVED OR RENOVATED SHALL REMAIN AS
 PRESENTLY INSTALLED AND OPERATING.
- . THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT
- D. ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- E. PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- F. REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- G. MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- H. INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- I. THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF





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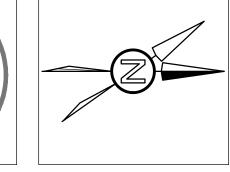
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INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
DEMOLITION PLAN PLUMBING AND
DRAINAGE

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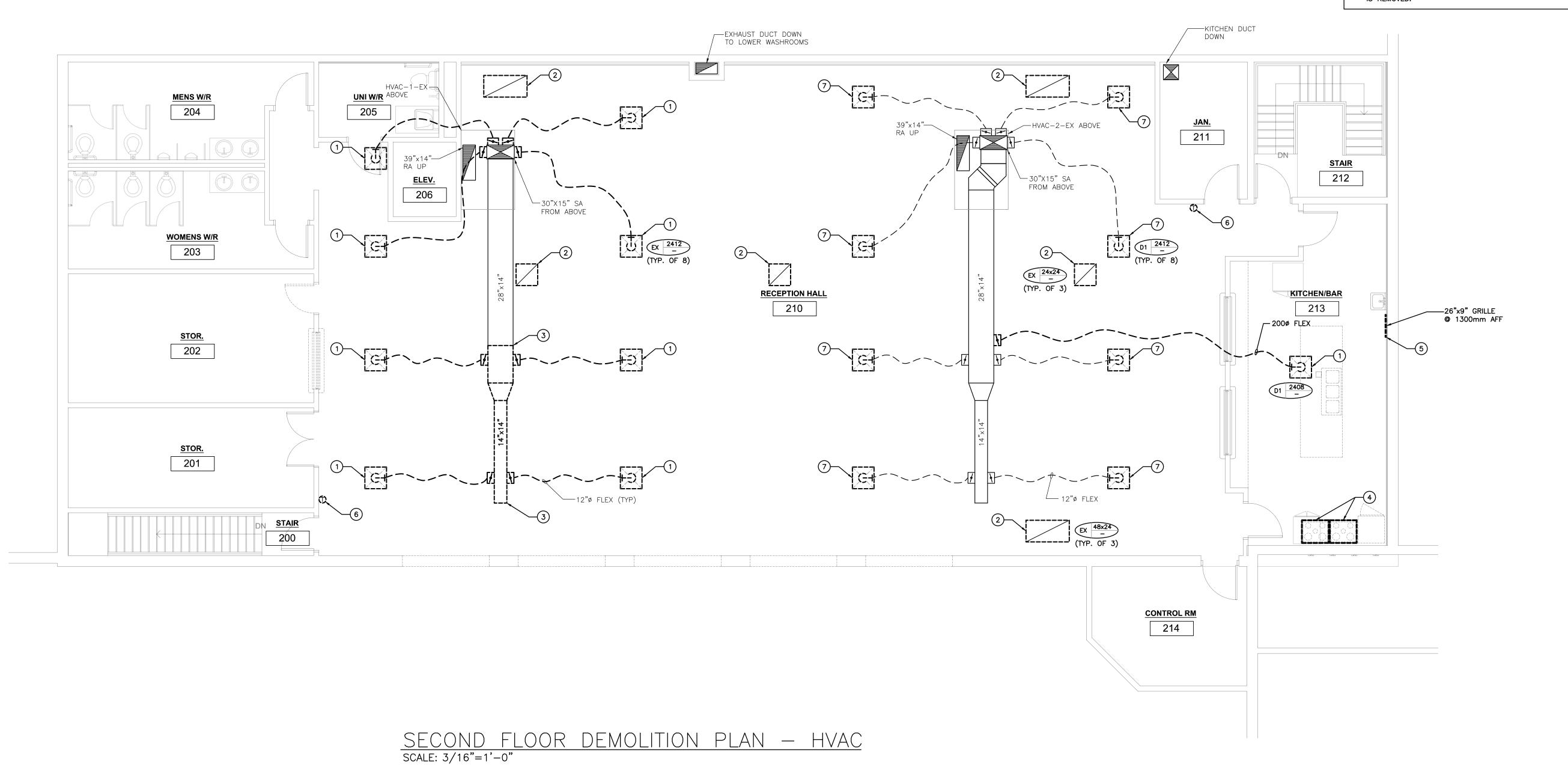
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SPECIFIC DEMOLITION NOTES

- . EXISTING DIFFUSER AND FLEXIBLE DUCTWORK TO BE REMOVED COMPLETE.
- 2. EXISTING RETURN GRILLE TO BE REMOVED COMPLETE.
- 3. CUT AND CAP DUCT.
- EXISTING EXHAUST HOODS TO BE REMOVED COMPLETE.
 EXISTING GRILLE TO BE REMOVED COMPLETE. CAP DUCT
- EXISTING GRILLE TO BE REMOVED COMPLETE. CAP DUCT CONCEALED IN WALL AND REMOVE BEYOND COMPLETE. PATCH AND MAKE GOOD ALL SURFACES.
- 6. REMOVE EXISTING THERMOSTAT.
- . EXISTING DIFFUSER TO BE REMOVED, FLEXIBLE DUCTWORK TO REMAIN. PREPARE FOR NEW DIFFUSER

GENERAL DEMOLITION NOTES

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- C. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT
- . ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- E. PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- F. REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- G. MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- H. INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- I. THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF
- J. ENSURE ANY REMAINING DUCTWORK, FITTINGS, AND CONTROLS OF DECOMMISSIONED SMOKE HEATER SYSTEM IS REMOVED.





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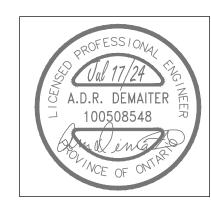
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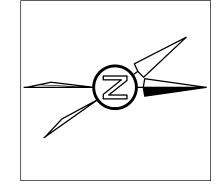
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158 DOMVILLE ST.
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DEMOLITION PLAN HVAC

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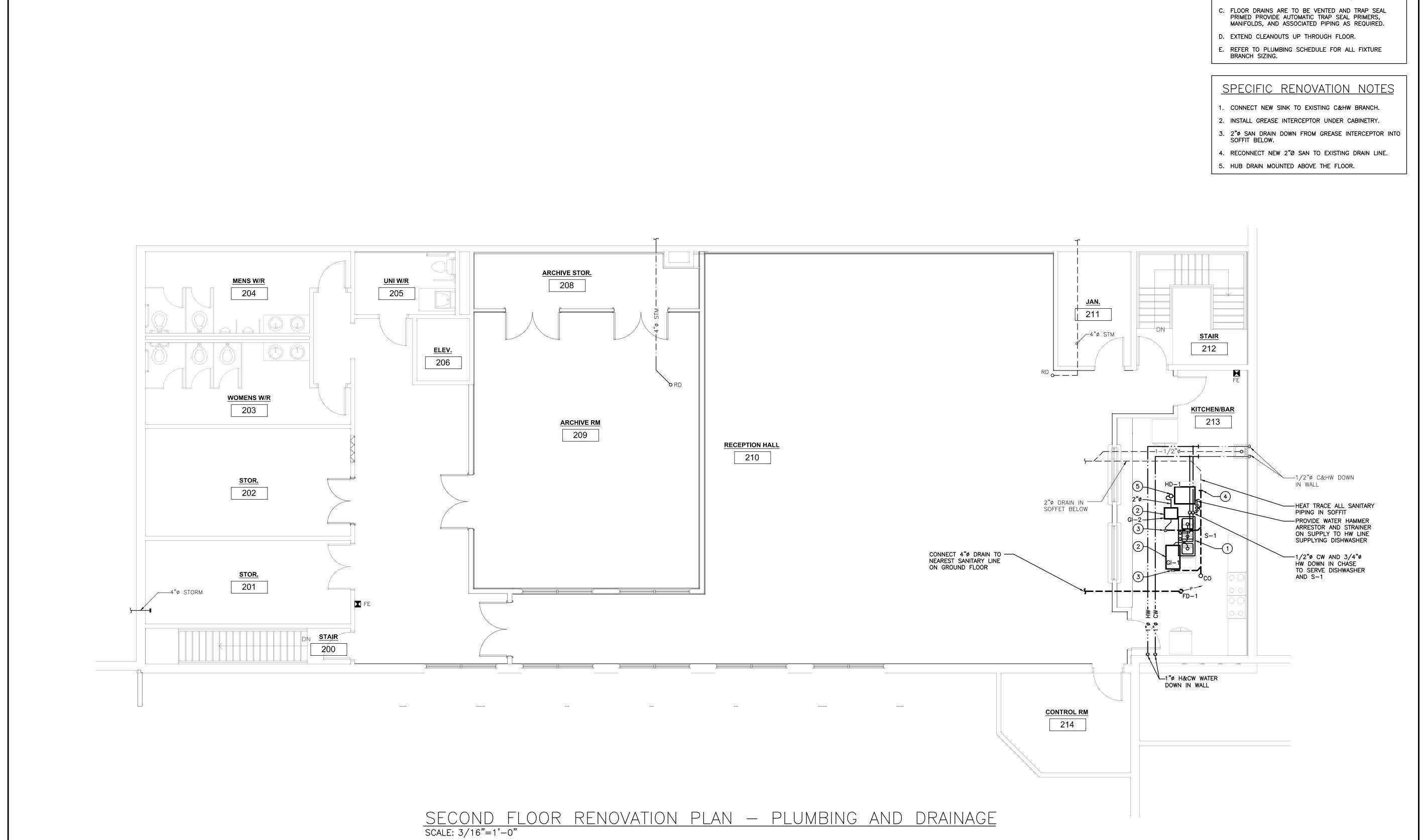
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- A. CO-ORDINATE MOUNTING HEIGHTS OF FIXTURES WITH MILLWORK AND ARCHITECTURAL DETAILS.
- B. SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS, CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED.



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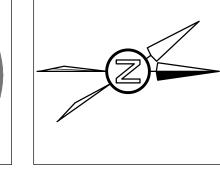
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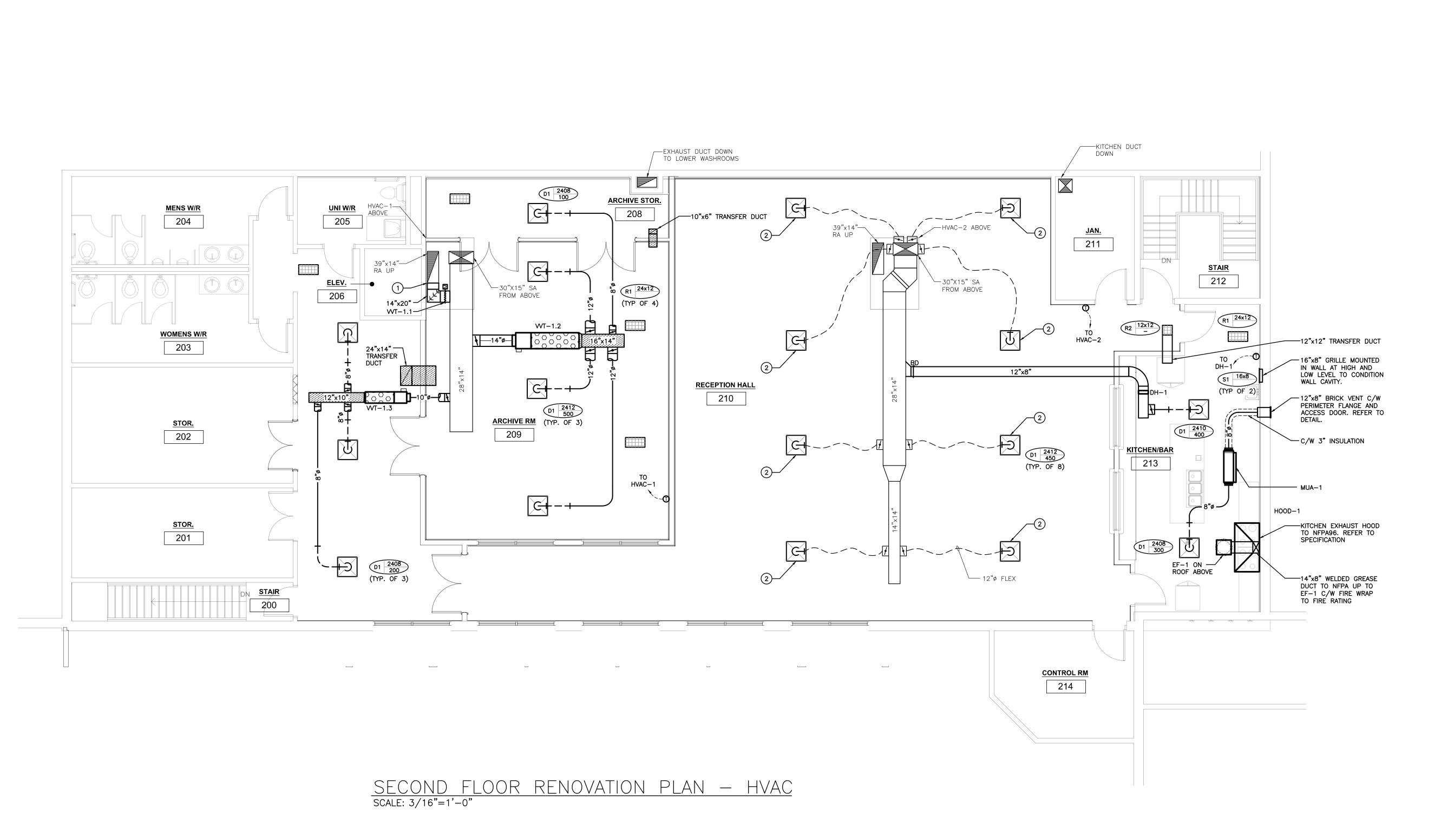


ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO RENOVATION PLAN -PLUMBING AND DRAINAGE

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- A. REFER TO ARCHITECTURAL CEILING PLANS FOR GRILLE/DIFFUSER LOCATIONS. CO-ORDINATE FINAL LOCATION ON SITE.
- B. WHERE DUCTWORK PENETRATES A CORRIDOR WALL, CENTER DUCTS BETWEEN OWSJ.

SPECIFIC RENOVATION NOTES

- . EXTEND EXISTING RETURN DUCT AS REQUIRED TO CONNECT NEW BYPASS DUCTWORK. BOTTOM OF DUCTWORK TO REMAIN OPEN.
- NEW DIFFUSER CONNECTED TO EXISTING FLEX DUCT. STRETCH FLEX DUCT AS NEEDED TO SUIT LOCATION.



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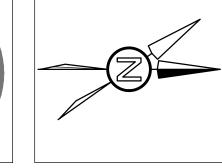
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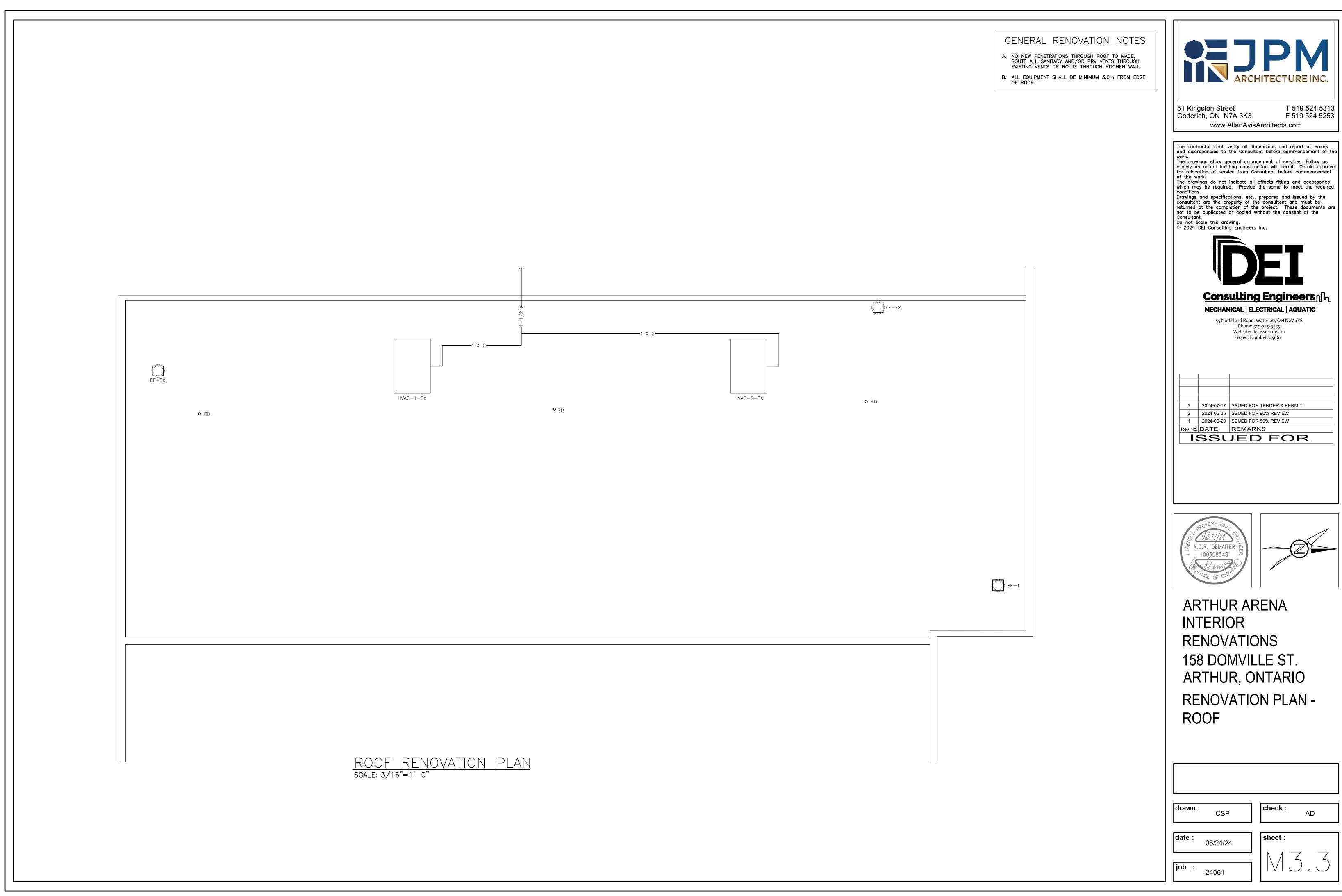


ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO RENOVATION PLAN -**HVAC**

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MECHANICAL SPECIFICATION

PART A GENERAL NOTES

- 1. PROVIDE LABOUR, MATERIAL AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE INSTALLATION WITH QUALITY WORKMANSHIP
 ACCEPTABLE TO OWNER AND CONSULTANT.
- 2. OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES, AND OTHER COSTS INCURRED WITH THIS WORK. FILE ALL PLANS. OBTAIN ALL NECESSARY APPROVALS, CERTIFICATES. SUBMIT ALL FINAL CERTIFICATES TO THE CONSULTANT. COMPLY WITH RULES AND RECOMMENDATIONS OF THE BOARD OF FIRE UNDERWRITERS, THE CANADIAN GAS ASSOCIATION, THE LOCAL BUILDING CODE, AND ALL REQUIREMENTS OF THE LOCAL UTILITY COMPANY AND BY—LAWS. POST BUILDING PERMIT AT SITE IN ACCORDANCE WITH O.B.C. REQUIREMENTS.
- 3. VISIT THE SITE BEFORE SUBMITTING TENDERS TO EVALUATE ANY SITE CONDITIONS THAT MIGHT ARISE. INCLUDE ALL SITE CONDITIONS IN TENDER, EXTRAS WILL NOT BE ACCEPTED UNLESS BELIEVED TO BE REASONABLE BY THE OWNER AND
- 4. COORDINATE WITH OTHER CONTRACTORS INSTALLING EQUIPMENT OR MATERIAL AND ARRANGE EQUIPMENT IN PROPER RELATION WITH ALL OTHER TRADES. ENSURE SYSTEMS ARE SERVICEABLE.
- 5. CUTTING AND PATCHING SHALL BE BY THE CONTRACTOR REQUIRED TO INSTALL THE SERVICE.
- 6. THE DRAWINGS ARE DIAGRAMMATIC. THE SERVICES SHALL BE INSTALLED TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACES THROUGH WHICH THEY PASS.
- 7. PROVIDE MARKED COPIES OF AS BUILTS.
- 8. THE MECHANICAL SYSTEMS OF THIS BUILDING MUST ACHIEVE THE ENERGY EFFICIENCY LEVELS BY CONFORMING TO ANSI/ASHRAE/IESNA 90.1 "ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS" AND CHAPTER 2 OF DIVISION 3 OF SB-10 PRESCRIPTIVE METHOD FROM THE ONTARIO BUILDING CODE.
- 9. ALL EQUIPMENT AND MATERIAL SHALL BE NEW. REPLACE ALL DAMAGED EQUIPMENT.
- 10. MATERIAL AND EQUIPMENT ARE NAMED IN THE SPECIFICATION TO ESTABLISH AN ACCEPTABLE STANDARD OF MATERIALS AND THE QUALITY OF WORKMANSHIP BY WHICH TO ADHERE.
- 11. SUBMIT SHOP DRAWINGS ELECTRONICALLY FOR ALL EQUIPMENT. THESE WILL BE REVIEWED BY THE CONSULTANT. RESUBMIT AS OFTEN AS MAY BE FOUND NECESSARY. SUBMIT ONE COMPLETE SUBMISSION INDEXED AND LABELED FOR THIS PROJECT.
- 12. PROVIDE ALL NECESSARY PROTECTION FOR FINISHED OR UNFINISHED WORK. ALL OPENINGS IN PIPES, DUCTS AND EQUIPMENT SHALL BE CAPPED TO ENSURE SERVICES ARE KEPT CLEAN WHEN NOT IN USE.
- 13. MAINTAIN INSURANCE TO FULLY PROTECT THE CONTRACTOR, OWNER AND CONSULTANT FROM ANY AND ALL CLAIMS SUCH AS UNDER THE WORKERS COMPENSATION ACT, ETC. POST PROJECT NOTIFICATION AT THE SITE IN ACCORDANCE WITH THE MINISTRY OF LABOUR REQUIREMENTS.
- 14. PROVIDE STRUCTURAL SUPPORTS, PLATFORMS, SUPPORTING RODS, HANGERS, INSERTS AND BRACKETS FOR EQUIPMENT AND SERVICES. DO NOT SUPPORT SERVICES FROM STEEL DECK.
- 15. INSTRUCT THE OWNER'S STAFF IN THE CARE, MAINTENANCE AND OPERATION OF THE SYSTEMS.
- 16. SUBMIT DIGITAL, INDEXED COPIES OF OPERATING AND MAINTENANCE INSTRUCTIONS.
- 17. REMOVE ALL PROTECTIVE COVERINGS, CLEAN AND POLISH ALL EQUIPMENT, FREE ALL OBSTRUCTIONS, CLEAN AND REPLACE
- 18. ALL SURPLUS AND WASTE MATERIALS SHALL BE PROMPTLY REMOVED FROM THE PREMISES.

ALL FILTERS WITH NEW, AND LEAVE ALL KEYS AND WRENCHES WITH THE OWNER.

- 19. ALL AREAS NOT AFFECTED BY RENOVATION OR DEMOLITION SHALL REMAIN AS PRESENTLY INSTALLED UNLESS NOTED
- 20. THE OWNER WILL DECIDE WHICH ITEMS OR EQUIPMENT SLATED FOR REMOVAL THAT THEY WISH TO RETAIN AS THEIR PROPERTY AND THIS CONTRACTOR SHALL REMOVE ALL OTHER MATERIALS FROM THE PREMISES.
- 21. PROVIDE LAMICOID TAGS FOR IDENTIFICATION OF NEW EQUIPMENT ADDED.
- 22. ALL ELECTRICAL LINE AND LOW VOLTAGE WIRING WHICH IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR AS SPECIFIED ELSEWHERE HEREIN SHALL BE RUN IN EMT CONDUIT TO STANDARDS OF THE ELECTRICAL DIVISION.
- 23. WARRANTY ALL MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF SYSTEM.
- 4. PIPE SLEEVES
 PROVIDE SCHEDULE 40 STEEL PIPE SLEEVES AT POINTS WHERE PIPES PASS THROUGH MASONRY, CONCRETE OR FIRE RATED ASSEMBLIES AND AS INDICATED. GROUT SLEEVES IN PLACE. MINIMUM 6 MM (1/4") CLEARANCE ALL AROUND, BETWEEN SLEEVE AND UNINSULATED PIPE OR BETWEEN SLEEVE AND INSULATION. CAULK BETWEEN SLEEVE AND PIPE IN FOUNDATION WALLS AND BELOW GRADE FLOORS WITH WATERPROOF FIRE RETARDANT NON—HARDENING MASTIC. WHERE SLEEVES PASS THROUGH WALLS OR FLOORS, PROVIDE SPACE FOR FIRESTOPPING. WHERE PIPES PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, MAINTAIN FIRE RATING INTEGRITY. ENSURE NO CONTACT BETWEEN COPPER TUBE OR PIPE AND FERROUS SLEEVE. FILL FUTURE—USE SLEEVES WITH LIME PLASTER OR OTHER EASILY REMOVABLE FILLER. COAT EXPOSED EXTERIOR SURFACES OF FERROUS SLEEVES WITH HEAVY APPLICATION OF ZINC RICH PAINT TO CGSB 1—GP—181M+AMDT—MAR—78.
- 25. DUCT SLEEVES
 PROVIDE MINIMUM 20 GAUGE DUCT SLEEVES WHERE DUCTS PASS THROUGH MASONRY, CONCRETE OR FIRE RATED
 ASSEMBLIES. MAINTAIN MINIMUM 25 MM CLEARANCE ALL AROUND OR TO THE REQUIREMENTS OF THE AUTHORITY HAVING
 JURISDICTION. SEAL AT WALL AS INDICATED. WHERE DUCTS PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS,
 MAINTAIN FIRE RATING INTEGRITY.

PART B DEMOLITION NOTES

- 1. THIS PROJECT IS ONE OF A RETROFIT NATURE IN PART, AND WHICH WILL REQUIRE SOME DEMOLITION. ALLOW FOR ALL REMEDIAL WORK IN AREAS INDICATED ON THE DRAWINGS AND AS GENERALLY DEFINED IN THE RELEVANT SECTIONS OF THE SPECIFICATIONS.
- 2. THE SCOPE OF WORK IS ESSENTIALLY THE SELECTED DISCONNECTION AND/OR REMOVAL OF SERVICES AND/OR EQUIPMENT, PIPING, DUCTWORK ETC. AS INDICATED OR REQUIRED TO COMPLETE THE WORK.
- 3. THIS DIVISION IS TO LIAISE WITH THE OWNERS OR CONSULTANT FOR EQUIPMENT BEING REMOVED THAT MAY BE SUITABLE FOR REUSE TO THAT SPECIFIED OR HANDED OVER TO THE OWNER.
- 4. THIS DIVISION TO TAKE FULL RESPONSIBILITY FOR ANY SPECIAL TOOLS OR EQUIPMENT REQUIRED TO DISASSEMBLE OR REMOVE MATERIAL FROM BUILDING.
- 5. THE GENERAL EXECUTION OF THE DEMOLITION IS TO BE CARRIED OUT IN A CLEAN AND EFFICIENT MANNER.
- 6. DEMOLITION OF EXISTING CEILING, WALLS ETC., TO FACILITATE REMOVAL OF EXISTING SERVICES OR EQUIPMENT OR INSTALLATION OF NEW TO BE KEPT TO A MINIMUM AND THEN RESTORED TO MATCH EXISTING.
- 7. ALL OPENINGS OR HOLES CREATED BY REMOVAL OF EXISTING MECHANICAL SYSTEMS WHICH ARE NOT BEING REUSED ARE TO BE PATCHED WITH THE SAME MATERIAL SURROUNDING SURFACES.
- 8. PROTECT ALL EXISTING FURNISHINGS MATERIALS AND EQUIPMENT. ANY DAMAGE OCCURRING AS A RESULT OF THE WORK OF THIS DIVISION SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THIS DIVISION.
- 9. WHERE WORK INVOLVES BREAKING INTO OR CONNECTING TO EXISTING SERVICES, CARRY OUT WORK AT TIMES DIRECTED BY
- THE OWNERS IN AN EXPEDIENT MANNER WITH MINIMUM DISRUPTION TO THE FACILITY AND SYSTEMS DOWNTIME.
- 10. WHERE UNKNOWN SERVICES ARE ENCOUNTERED, IMMEDIATELY ADVISE CONSULTANT AND CONFIRM FINDINGS IN WRITING.
- 11. WHERE THE LOCATION OF ANY SERVICES HAS BEEN SHOWN ON THE PLANS, SUCH INFORMATION IS NOT GUARANTEED. IT IS THIS DIVISION'S RESPONSIBILITY TO VERIFY LOCATIONS, INVERT ELEVATIONS, ETC., IMMEDIATELY AFTER MOVING ON SITE. SHOULD FOR ANY REASON THE INFORMATION OBTAINED NECESSITATES CHANGES IN PROCEDURE OR DESIGN, ADVISE THE CONSULTANT AT ONCE. IF VERIFICATION OF EXISTING CONDITIONS IS NOT DONE AT THE OUTSET AND ANY PROBLEMS ARISE, THE RESPONSIBILITY FOR SAME IS ENTIRELY THIS DIVISION'S.
- 12. DISCONNECT AND/OR REMOVE EQUIPMENT PIPING, DUCTWORK, ETC. AS INDICATED.
- 13. CAP AND CONCEAL ALL REDUNDANT AND OBSOLETE CONNECTIONS.
- 14. PROVIDE A LIST OF EQUIPMENT TO BE REMOVED TO THE OWNER, FOR HIS ACCEPTANCE OF SAME. REMOVE ALL EQUIPMENT FROM SITE WHICH THE OWNER DOES NOT RETAIN.
- 15. MAINTAIN EQUIPMENT TO BE RETAINED BY OWNER ON SITE WHERE DIRECTED BY CONSULTANT.
- 16. DEMOLITION OF ALL PARTS OF THE WORK MUST BE COMPLETED WITHIN THE CONFINES OF THE WORK AREA AND IN SUCH A WAY AS THE DUST PRODUCED AND RISK TO INJURY OF WILL NOT ADVERSELY AFFECT THE BUILDING USERS.
- 17. DEMOLISHED AREAS OF THE EXISTING BUILDING WILL REMAIN IN THEIR CURRENT USE IN SOME CASES. DEMOLITION IN THESE AREAS MUST BE KEPT TO THE MINIMUM REQUIRED TO COMPLETE THE WORK.
- 18. DEMOLITION SHALL TAKE PLACE WITHIN AREAS ISOLATED FROM ALL OTHER AREAS WITH APPROPRIATE HOARDING, SCAFFOLDING, NETTING, FENCING OR OTHER MEANS OF SECURITY BETWEEN BUILDING USERS AND THE WORK.
- 19. CO-ORDINATE MAKING SAFE ELECTRICAL DEVICES, CAPPING PLUMBING AND REMOVAL OF FIXTURES PRIOR TO COMMENCEMENT OF DEMOLITION.
- 20. ALL PIPING AND EQUIPMENT TO BE REMOVED AND/OR ABANDONED SHALL BE DRAINED PRIOR TO CAPPING AND/OR ABANDONING. DISPOSAL OF ALL LIQUIDS SHALL BE TO THE APPROVAL OF AUTHORITY OF HAVING JURISDICTION AND/OR PROVINCIAL REGULATIONS.

- 21. DRAIN ALL EXISTING PIPING AND DRAINAGE SYSTEMS INCLUDING ALL RELATED EQUIPMENT AS REQUIRED TO FACILITATE SYSTEM RENOVATIONS.
- 22. DISPOSAL OF EXISTING SYSTEM SHALL BE TO THE REQUIREMENTS OF THE LOCAL AND/OR PROVINCIAL REGULATIONS.

DART C DILIMBING NOTES

- 1. CONTRACTOR TO PROVIDE POTABLE WATER CERTIFICATE FOR E. COLI AND COLIFORM FROM A RECOGNIZED TESTING LABORATORY UPON COMPLETION OF THE PROJECT. WATER IS TO BE TAKEN FROM A NEW FIXTURE TO TEST THE NEW PIPING INSTALLED.
- 2. SERVICES CONNECT TO EXISTING SERVICES WHERE SHOWN ON DRAWINGS.
- CONNECT TO EXISTING SERVICES WILKE SI
- 3. CODES AND REGULATIONS
 SANITARY, SOIL WASTE, VENT, AND ALL WATER PIPING SHALL CONFORM AND BE INSTALLED TO THE ONTARIO PLUMBING
 CODE AND THE CANADIAN PLUMBING CODE, LATEST EDITION. ALL GAS PIPING SHALL CONFORM TO THE CANADIAN GAS CODE
 AND THE LOCAL GAS DISTRIBUTORS REQUIREMENTS.
- 4. IESTING
 SANITARY PIPING: ALL SANITARY PIPING SHALL BE TESTED WITH WATER UNDER THE GUIDANCE OF THE LOCAL PLUMBING
 INSPECTOR. SMOKE TESTS OR ANY OTHER TEST REQUIRED BY THE PLUMBING INSPECTOR SHALL ALSO BE MADE. WATER
 PIPING: ALL WATER PIPING SHALL BE TESTED TO 150 PSI. PRESSURE FOR NOT LESS THAN FOUR HOURS WITHOUT A LOSS
 IN PRESSURE. GAS PIPING: ALL GAS PIPING SHALL BE PRESSURE TESTED TO THE LATEST ONTARIO GAS UTILIZATION CODE
 AND LOCAL GAS DISTRIBUTORS REQUIREMENTS. ALL GAS PIPING SHALL CONFORM TO THE CANADIAN GAS CODE AND THE
 LOCAL GAS DISTRIBUTORS REQUIREMENTS.
- MAINTAIN TESTABLE RP BACKFLOW PREVENTOR BETWEEN MUNICIPAL WATER AND NEW PLUMBING SYSTEM. ENSURE A MINIMUM OF 90% OF PLUMBING FIXTURES ARE INSTALLED. FLUSH WATER MAINS THROUGH AVAILABLE OUTLETS WITH A SUFFICIENT FLOW OF POTABLE WATER TO PRODUCE A VELOCITY OF 1.5 M/S, WITHIN PIPE FOR 10 MIN, OR UNTIL FOREIGN MATERIALS HAVE BEEN REMOVED AND FLUSHED WATER IS CLEAR WITH BACKFLOW PROTECTION. PROVIDE CONNECTIONS AND PUMPS FOR FLUSHING AS REQUIRED. OPEN AND CLOSE VALVES, AND OPERATE FIXTURES TO ENSURE THOROUGH FLUSHING. TAKE WATER SAMPLES AT REMOTE FIXTURES AND SERVICE CONNECTIONS.
- 5. PIPE AND FITTINGS
 STORM, SANITARY AND VENT DRAINS: (ABOVE GRADE), MEDIUM WEIGHT CAST IRON WITH MECHANICAL RUBBER JOINTS OR TYPE DWV COPPER PIPE. STORM, SANITARY AND VENT PIPING: (BELOW GRADE) PVC DRAINAGE PIPE TO SDR 35 WITH SOLVENT WELDED JOINTS. ABS DRAINAGE PIPE WITH SOLVENT WELDED JOINTS. WATER PIPING: TYPE L COPPER WITH LEAD FREE SOLDER JOINTS. GAS PIPING: GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE WITH SCREWED MALLEABLE IRON FITTINGS FOR PIPING 2" DIAMETER AND SMALLER, AND WELDED JOINTS FOR PIPE 2 1/2" DIAMETER AND LARGER UNLESS OTHERWISE NOTED HEREIN. ALL GAS PIPING SHALL BE PAINTED WITH TWO COATS OF YELLOW PAINT.
- 6. VALVES
 ISOLATION VALVES: HOT AND COLD WATER BRONZE BODY, CLASS 150, STAINLESS STEEL BALL, FULL PORT, PTFE SEAT AND PACKING, STEEL LEVER HANDLE. MILWAUKEE BA—455, CRANE, TOYO CHECK VALVES: HOT AND COLD WATER SIZES 1/2"
 DIAMETER TO 2" DIAMETER CRANE FIG. 1342, OR EQUAL JENKINS, BRONZE SWING CHECK, SOLDER ENDS. CRANE FIG. 29
 OR EQUAL JENKINS VERTICAL LIFT CHECK VALVE, SCREWED ENDS ON VERTICAL PIPING. GAS VALVES: SHALL BE GSA APPROVED LUBRICATED PLUG TYPE.
- 7. CLEAN OUTS
 CLEAN OUTS: PROVIDE AND SET CLEAN OUT PLUGS IN ALL DRAINS AND SOIL PIPE LINES WHERE OBSTRUCTIONS MAY BE FOUND, AT CHANGES OF DIRECTION, AT THE BASE OF ALL SANITARY STACKS AND AT INTERVALS. LENGTHS TO THE ONTARIO PLUMBING CODE. CLEAN OUTS SHALL BE FULL SIZES OF PIPES UP TO 4" DIAMETER AND NOT LESS THAN 4" DIAMETER FOR LARGER PIPES. ANCON CO-100-R OR EQUAL.
- WATERLESS INLINE FLOOR DRAIN TRAP SEAL, COMMERCIAL GRADE UV AND OZONE RESISTANT PVC (XFR) PLASTIC HOUSING WITH PROPRIETARY EPDM RUBBER DIAPHRAGM AND SOFT RUBBER SEALING GASKET. ACCEPTABLE MATERIALS: SURE SEAL, TRAP GUARD.
- 9. DRAIN VALVES
 DRIP COCKS: SUPPLY AND INSTALL 1/2" DIAMETER MUELLER OR EQUAL DRAIN VALVES AT ALL LOW POINTS IN THE WATER
 SYSTEMS TO COMPLETELY DRAIN THE SYSTEMS. ALL DRIP COCKS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS.
- PLUMBING FIXTURES

 FIXTURES AS LISTED ON THE DRAWINGS. ALL FIXTURES MUST BE NEW AND CLEAN WHEN THE WORK IS TAKEN OVER BY THE OWNER. ALL PLUMBING FIXTURES SHALL BE EQUIPPED WITH SUPPLY VALVES, FAUCETS, TRAPS, SUPPORTS, WATER CONNECTIONS, ESCUTCHEONS, HANGERS, BOLTS. ETC. FIXTURES SHALL BE CRANE OR EQUAL AMERICAN STANDARD, KOHLER. TRAPS: 2" DIAMETER AND SMALLER, SHALL BE CAST BRASS AND CHROME PLATED IN EXPOSED AREAS. ALL SINK TRAPS SHALL BE TWO PIECE CONSTRUCTION. ALL TRIM MUST BE CAMBRIDGE BRASS OR EQUAL. ON COMPLETION ALL FIXTURES, ACCESSORIES AND EXPOSED PIPING SHALL BE THOROUGHLY CLEANED AND LEFT READY FOR USE. AFTER FINAL INSPECTION BY THE PLUMBING INSPECTOR CAULK AROUND BASE OF ALL FIXTURES TO THE WALL OR FLOOR WITH SILICONE CAULKING.
- 11. FIRE EXTINGUISHERS
 SUPPLY AND INSTALL WHERE SHOWN ON DRAWINGS NATIONAL OR EQUAL UL LABELED 5 LB. MULTIPURPOSE DRY CHEMICAL
 FIRE EXTINGUISHERS WITH HOSE SHUTOFF NOZZLE AND WALL MOUNTING BRACKETS. PROVIDE RECESSED WALL CABINET
 WHERE NOTED
- 12. EXPANSION COMPENSATION
 PIPING SUBJECTED TO THERMAL EXPANSION SHALL BE INSTALLED USING PIPE LOOPS AND/OR EXPANSION COMPENSATORS
 TO PERMIT FREE EXPANSION AND CONTRACTION WITHOUT CAUSING DAMAGE TO OR STRESSES AT JOINTS AND HANGER AND
 TO REDUCE STRAIN ON CONNECTED EQUIPMENT TO A MINIMUM.
- 13. GREASE INTERCEPTORS (PLASTIC)
 RETENTION TYPE INTERCEPTOR, TESTED AND RATED IN ACCORDANCE WITH ENVIRONMENTAL PROTECTION ACT (EPA),
 COMPLETE WITH FIRE RESISTANT POLYPROPYLENE CONSTRUCTION FOR MOUNTING ABOVE FLOOR WITH ALUMINUM NON—SKID
 COVERS ON FLOOR COMPLETE WITH FLOW CONTROL FITTING SUITABLY VENTED. CAPACITY: 3.15 L/S (50 GPM) IOD INLET &
 OUTLET. THE UNIT SHALL BE ABLE TO TREAT EFFLUENT TO LESS THAN 100 mg/L OF GREASE. THE GREASE INTERCEPTOR
 SHALL HAVE A MINIMUM OF FIVE MINUTES RETENTION TIME. ACCEPTABLE MATERIAL: JRC PLASTIC INTERRUPTERS, JONESPEC,
 CONTOUR, ENDURA.
- 14. PIPE INSULATION
 INSULATE ALL DOMESTIC HOT AND COLD WATER PIPING AND STORM PIPING ABOVE GRADE. WITH 1" (FOR PIPING UNDER 1 1/2" DIAMETER) OR 1 1/2" (FOR PIPING 1 1/2" DIAMETER AND HIGHER) FIBERGLASS INSULATION WITH VAPOUR BARRIER. INSTALL AS PER MANUFACTURERS RECOMMENDATIONS. RECOVER EXPOSED PIPING WITH 6 OZ. CANVAS JACKET AND TWO COATS LAGGING ADHESIVE.

PART D KITCHEN HOOD NOTES

- 1. BOX CANOPY FILTER HOOD
 THE HOOD SHALL BE CEILING HUNG WITH A RECOMMENDED MOUNTING HEIGHT BETWEEN 1981mm (6'-6") AND 2200mm
 (7'-3") FROM THE FINISHED FLOOR. THE HOOD SHALL BE FINISHED IN A NO. 4 STAINLESS STEEL FINISH ON ALL EXPOSED SIDES.
 THE HOOD SHALL BE EQUIPPED WITH HIGH EFFICIENCY UL/ULC LISTED BAFFLE GREASE FILTERS. THE EXHAUST AIR SHALL ACCELERATE THROUGH MULTIPLE TURNS WITHIN THE BAFFLE FILTER. THE LIQUEFIED GREASE SHALL DRAIN DOWN THE BAFFLES, ALONG THE GREASE TROUGH, AND INTO A GREASE.
 THE FILTER HOOD SHALL BE BOX CANOPY, HIGH EFFICIENCY, FILTER HOOD, UL/ULC LISTED, AND BUILT IN ACCORDANCE
- 2. GREASE FILTER TYPE
 TO NFPA. ULC LABELED. WELDED TYPE 304 STAINLESS STEEL, WASHABLE FILTERS AND DRAIN CONNECTOR. ACCEPTABLE
 MATERIALS: SPRING AIR, GARLAND, HALTON.

WITH THE NFPA-96. THE UNIT CASING SHALL BE A MINIMUM 18 GA. STAINLESS STEEL ON ALL EXPOSED SURFACES.

- 3. FIRE SUPPRESSION SYSTEM
 FIRE DETECTION AND SUPPRESSION SYSTEM: ULC LISTED AND LABELED, WET CHEMICAL PRE-ENGINEERED FIXED NOZZLE
 TYPE FOR APPLIANCES, FILTERS AND DUCTWORK.
 MANUAL AND AUTOMATIC DUMP SYSTEM. AUTOMATIC ACTUATION SHALL BE PROVIDED BY AN APPROPRIATE NUMBER OF FUSE
 LINK DETECTORS MOUNTED IN SERIES ON A STAINLESS STEEL WIRE INPUT LINE TO THE CONTROL HEAD. MANUAL ACTUATION
 SHALL BE PROVIDED BY TURNING A HANDLE ON THE PRIMARY HEAD AND/OR BY AN OPTIONAL REMOTE PULL STATION WITH
 A DEDICATED STAINLESS STEEL INPUT LINE TO THE CONTROL HEAD.
- CABLE AND CONDUIT SYSTEM.
 BOTTLE CAPACITY TO MEET DEMAND. SUBMIT SIZING WITH SHOP DRAWINGS.
 THE CARTRIDGE SHALL BE AN INTEGRAL PART OF THE CONTROL HEAD ASSEMBLY. THE WET CHEMICAL STORAGE CYLINDER SHALL BE D.O.T.—RATED FOR STORED PRESSURE OF 225 PSIG, AND A PRESSURE GAUGE SHALL BE PROVIDED ON THE CYLINDER VALVE FOR VISUAL INSPECTION.
 NOZZLES IN EXHAUST DUCT, HOOD PLENUM, AND APPLIANCE PROTECTION.
- ENGINEERED DRAWINGS (STAMPED) AND FIELD REVIEW BY A PROFESSIONAL ENGINEER SUBMITTED TO THE CONSULTANTS AND AUTHORITY HAVING JURISDICTION. SAME PROFESSIONAL ENGINEER TO PROVIDE SIGN—OFF FOR THE OPERATION. ACCEPTABLE MATERIALS: SPRING AIR, GARLAND, PYRO—CHEM, HALTON.

PART G HEATING, AIR CONDITIONING, AND VENTILATION NOTES

JOINTS WITH DUCT SEALER.

- 1. DUCTWORK TO BE CONSTRUCTED TO SMACNA STANDARDS, MEDIUM STATIC PRESSURE WITH LEAKAGE RATE OF 5% MAXIMUM. FABRICATED IN ACCORDANCE WITH RECOMMENDATIONS OF SMACNA AND ASHRAE. SEAL ALL TRANSVERSE AND LONGITUDINAL
- 2. ROUND AND OVAL DUCTS: FACTORY FABRICATED, SPIRAL WOUND, WITH MATCHING FITTINGS AND SPECIALS TO SMACNA. TRANSVERSE JOINTS UP TO 900 MM (36"): SLIP TYPE WITH TAPE AND SEALANTS.
- 3. SQUARE AND RECTANGULAR DUCTS:TO SMACNA. TRANSVERSE JOINTS, LONGEST SIDE UP TO AND INCLUDING 750 MM (30"): SMACNA PROPRIETARY DUCT JOINTS.

- 4. DAMPERS

 ALL DAMPERS TO TO SMACNA RECOMMENDATIONS AS MINIMUM ACCEPTABLE STANDARD. SPLITTER DAMPERS OF SAME
 MATERIAL AS DUCT BUT ONE SHEET METAL THICKNESS HEAVIER WITH APPROPRIATE STIFFENING, CUT AIRFOIL SHAPE, PIANO
 HINGE PIVOT, WITH CONTROL ROD WITH LOCKING DEVICE AND POSITION INDICATOR ON EXTERIOR OF DUCT. SINGLE BLADE
 BALANCING ROUND AND RECTANGULAR, MAXIMUM 100MM (4") HIGH, OR SAME MATERIAL AS DUCT BUT ONE SHEET METAL
 THICKNESS HEAVIER (MINIMUM 16 GAUGE), V-GROOVE STIFFENED WITH LOCKING QUADRANT. MULTI-LEAF OPPOSED BLADE
 DAMPERS DESIGNED TO SMACNA DETAILS, SELF-LUBRICATING NYLON BEARINGS, SHAFT EXTENSION TO ACCOMMODATE
 INSULATION THICKNESS, WITH LOCKING QUADRANT. MANUFACTURED ADJUSTABLE EXTRACTORS TO BE WITH ADJUSTMENT ROD.
 ACCEPTABLE PRODUCTS: TITUS, NAILOR OR EQUAL.
- 5. FIRE DAMPERS
 UL OR ULC AND SHALL MEET REQUIREMENTS OF NFPA 90A-1978.
 FACTORY FABRICATED FOR FIRE RATING REQUIREMENTS TO MAINTAIN INTEGRITY OF MEMBRANE BEING INSTALLED.
 MILD STEEL, FIRE LINK ACTUATED TOP. ROUND OR SQUARE GUILLOTINE TYPE, WEIGHTED TO CLOSE AND LOCK IN CLOSED POSITION WHEN RELEASED. ROLL DOOR TYPE IN HORIZONTAL POSITION WITH VERTICAL AIRFLOW. SIZED TO MAINTAIN FULL

FLOW CROSS SECTION OF DUCT (TYPE B).

CAPABILITY.

FILTERS AND FRAME.

21. WT CONTROL SEQUENCE

REPRESENTS CLEAR INSIDE DIMENSIONS.

- 6. COMBINED FIRE/SMOKE CONTROL DAMPERS

 UL OR ULC LISTED AND SHALL MEET REQUIREMENTS OF NFPA 90A

 PROVIDE A COMPLETE SYSTEM CONSISTING OF THE DAMPER, DAMPER ACTUATOR, SMOKE DETECTOR, SLEEVE AND ALL OTHER

 COMPONENTS NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM. THE ASSEMBLY SHALL BE FACTORY ASSEMBLED AS A

 SINGLE UNIT. CONTRACTOR MAY SUPPLY FIELD ASSEMBLED UNITS PROVIDED ALL COMPONENTS ARE PROVIDED BY SINGLE

 SUPPLIER AND THE SITE ASSEMBLY DOES NOT AFFECT UL OR ULC LISTING OF THE ASSEMBLY.

 DAMPER SHALL BE NORMALLY CLOSED STYLE WITH CLASS I LEAKAGE RATING. ACTUATOR SHALL BE TWO POSITION WITH

 EXTERIOR INDICATION OF POSITION.

 UNIT SHALL BE CAPABLE OF OPERATING WITH AIR VELOCITIES OF 300 FPM TO 4000 FPM. PROVIDE ONE DETECTOR FOR

 EVERY 1.5 SQUARE METERS OF DUCT CROSS SECTIONAL AREA FOR VELOCITIES OVER 300 FPM, AND ONE SENSOR FOR

 EACH 0.5 SQUARE METERS OF CROSS SECTIONAL AREA FOR VELOCITIES UNDER 300 FPM.

 ASSEMBLY SHALL REQUIRE 120 VOLT POWER. MECHANICAL CONTRACTOR IS RESPONSIBLE TO CO—ORDINATE POWER SOURCE

 WITH ELECTRICAL TRADE, OR PROVIDE POWER IF NOT WITHIN ELECTRICAL CONTRACT/JOB IS MECHANICAL ONLY.

 SENSOR SHALL BE UL APPROVED PHOTOELECTRIC STYLE DETECTOR, WITH TEST/RESET BUTTON AND LOCAL TESTING
- 7. FLEXIBLE CONNECTIONS
 AT ALL DUCT CONNECTIONS TO FANS AND AIR HANDLING UNITS. NEOPRENE COATED GLASS FABRIC, NOT MORE THAN 6"
 LONG BETWEEN METAL PARTS INSTALLED SUFFICIENT SLACK TO PREVENT VIBRATION TRANSMISSION. ALLOW MOVEMENT (2")
 TO LOW PRESSURE FANS.

CONTRACTOR SHALL WORK WITH THE INTEGRATED LIFE SAFETY TESTING AGENCY TO VERIFY OPERATION OF ALL DAMPERS.

- 8. TURNING VANES
 SMALL ARC AIRFOIL HOLLOW VANES IN SUPPLY DUCT ELBOW WHERE CENTERLINE RADIUS IS LESS THAN 1 1/4 TIMES TURNING DIMENSION OF DUCT.
- 9. GRILLES, REGISTERS AND DIFFUSERS
 GRILLES, REGISTERS AND DIFFUSERS SHALL BE THE SAME MANUFACTURER. TYPE AS SHOWN ON THE DRAWING.
 ACCEPTABLE MATERIALS: E.H. PRICE, TITUS, NAILOR, KRUEGER, TUTTLE & BAILEY, METALAIR.
- 10. FLEXIBLE DUCTWORK

 METALLIC ALUMINUM FLEXIBLE DUCTWORK MANUFACTURED BY FLEXMASTER LTD., OR EQUAL BETWEEN BRANCH DUCTS AND GRILLES, REGISTERS AND DIFFUSERS. MAXIMUM LENGTH SHALL BE 6'-0".
- 11. FILTERS
 SUPPLY AND INSTALL FILTERS FOR NEW EQUIPMENT AND EXISTING EQUIPMENT SERVING RENOVATED AREAS.

 1" DISPOSABLE FILTER MEDIA SHALL BE SUPPLIED FOR USE DURING THE CONSTRUCTION. A COMPLETE SET OF NEW FILTER MEDIA SHALL BE INSTALLED BEFORE TESTING AND BALANCING.
- 12. BRICK VENTS

 E.H. PRICE OR EQUAL ALUMINUM MODULAR BLOCK VENTS, SIZES AS SHOWN ON THE DRAWINGS. BLOCK VENTS SHALL BE C/W BIRD SCREEN. DRIP LEDGE AND DUCT EXTENSION. COLOUR AND FINISHED SELECTED BY THE ARCHITECT.
- 13. EXHAUST FAN(S)

 EXHAUST FANS OF TYPE AND PERFORMANCE IN THE SCHEDULE AS SHOWN ON THE DRAWING AND/OR HEREIN. INSTALL EXHAUST FANS AS PER MANUFACTURERS RECOMMENDATIONS. FANS SHALL BE AMCA LABELED.
- 14. GAS FIRED HVAC UNITS

 CARRIER OR EQUAL KEEPRITE, LENNOX ROOFTOP GAS FIRED HVAC UNITS.

 UNIT(S) SHALL BE EQUIPPED WITH ALL INTERNAL PROTECTIVE DEVICES, DISCHARGE MUFFLER, INTERNAL MOTOR PROTECTION, TIME GUARD CONTROL TO PREVENT SHORT CYCLING OF THE COMPRESSOR, FAN-OFF-AUTO HEATING COOLING ROOM THERMOSTAT C/W LOCKING COVER. OPPOSED BLADE ECONOMIZER SECTION ROOF CURB AND PERMANENT CLEANABLE
- REFER TO SCHEDULE FOR UNIT CAPACITY AND PERFORMANCE.

 15. ACOUSTIC DUCT LINER
 RIGID DUCT LINER 1" THICK 36 KG/M WITH NEOPRENE LINER GLUED AND PINNED TO INSIDE SURFACE OF DUCTWORK.
 MINIMUM 3.OM (10') FROM ALL AIR HANDLERS AND WHERE SHOWN ON DRAWINGS. SEAL ALL EXPOSED EDGES. DUCT SIZING
- 16. DUCTWORK INSULATION
 ON THE LAST 5'-0" OF ALL EXHAUST DUCTS, INCLUDING PLENUM AND ALL AIR INTAKE DUCTWORK, FIBERGLASS FOIL FACED RIGID DUCT INSULATION 1" THICK TYPE PF-335-3/4 LB. DENSITY WITH RFFRK FACING. GLUE AND PIN AS PER MANUFACTURERS RECOMMENDATIONS.
 ON ALL OUTDOOR AIR DUCTWORK, FIBREGLASS FOIL FORCED RIGID DUCT INSULATION 3" THICK TYPE PF-335-3/4 LB DENSITY WITH RFFRK FACING. GLUE AND PIN.
- WITH CROSSBREAKS AND STANDING SEAMS AND BUTTONHOOK JOINTS. COLOUR TO MATCH BUILDING FLASHINGS.

 17. FIRE BARRIER DUCT WRAP
 FIRE BARRIER DUCT WRAP 15A BLANKET, THICKNESS AS APPROVED BY MANUFACTURER. ALUMINUM FOIL TAPE, MINIMUM
 3/4in (19mm) WIDE FILAMENT TAPE. CARBON STEEL OR STAINLESS STEEL BANDING MATERIAL, MINIMUM 1/2in (12.7mm)
 WIDE, MINIMUM 0.015in (0.38mm) THICK, WITH STEEL BANDING CLIPS. HAND BANDING TENSIONER, CRIMPING TOOL, AND
 BANDING CUTTER. MINIMUM 12 GUAGE COPPER—COATED STEEL INSULATION PINS; GALVANIZED STEEL SPEED CLIPS, MINIMUM

RECOVER ALL EXTERIOR DUCTWORK WITH TWO COATS OF MASTIC SEALER AND 28 GAUGE PREFINISHED METAL FLASHING

- BANDING CUTTER. MINIMUM 12 GUAGE COPPER—COATED STEEL INSULATION PINS; GALVANIZED STEEL SPEED CLIPS, MINIMUM 1—1/2in (38mm) SQUARE OR 1—1/2in (38mm) DIA. ROUND, OR EQUIVALENT SIZES INSULATED CUP HEAD PINS; CAPACITOR DISCHARGE STUD GUN. ACCESS DOOR HARDWARE: FOUR GALVANIZED STEEL THREAD RODS, 1/4in (6mm) DIA. BY 4—1/2in TO 5in LONG (114mm TO 127mm WITH 1/4in (6mm) WING NUTES AND 1/4in (6mm) WASHERS: 4in (102mm) LONG STEEL HOLLOW TUBING TO FIT THREADED RODS. ACCEPTABLE MATERIALS: 3M FIRE BARRIER, CL4FIRE.

 18. KITCHEN HOOD ENCLOSURE PROVIDE AN 18 GAUGE WELDED BRUSH FINISH STAINLESS STEEL ENCLOSURE AROUND EXISTING HOOD. HOOD MAY BE MADE
- INTO TWO (2) PIECES AND BOLTED TOGETHER ON SITE AND INDEPENDANTLY SUPPORTED TO STRUCTURE. DO NOT BOLT HOOD TO EXISTING.

 INSTALL HOOD WITHOUT INTERFERING WITH OPERATION OF EXISTING.

 19. HVAC UNIT CONTROL:

 OCCUPIED MODE: FAN MUST RUN CONTINUOUS, OUTDOOR AIR OPENS TO MINIMUM POSITION AND THE NEW ROOM THERMOSTAT MUST CYCLE 2 STAGES OF HEATING SNF 3 STAGES OF COOLING TO MAINTAIN SETPOINT. THE FIRST STAGE
- THERMOSTAT MUST CYCLE 2 STAGES OF HEATING SNF 3 STAGES OF COOLING TO MAINTAIN SETPOINT. THE FIRST STAGE OF COOLING MUST BE A FREE COOLING ECONOMIZER CYCLE BY THE INTEGRAL CONTROLLER. WHEN OUTDOOR AIR TEMPERATURE EXCEEDS THE FREE COOLING TEMPERATURE THE DAMPER RETURNS TO MINIMUM POSITION AND ENERGIZES MECHANCIAL COOLING.

 UNOCCUPIED MODE: CYCLE FAN, HEATING AND COOLING TO MAINTAIN NIGHT SETBACK TEMPERATURE.

 PUMP PROVIDE OCCUPIED/UNOCCUPIED, START/STOP/STATUS, DISCHARGE AIR TEMPERATURE, MIXED AIR TEMPERATURE, CLOGGED FILTER, BURNER OPERATION, AND COOLING OPERATION AT THE OPERATOR WORK STATION.
- THIS SYSTEM CONSISTS OF A DAMPER AND AN ELECTRIC REHEAT COIL. THE EQUIPMENT SHALL BE USED IN A VVT SYSTEM. THE DAMPER IS CONTROLLED BETWEEN IT'S MINIMUM AND MAXIMUM SET POINTS, AND THE ELECTRIC REHEAT COIL IS MODULATED TO MEET SPACE TEMPERATURE SET POINT. THE SPACE SERVED BY THE VAV TERMINAL UNIT IS CONTROLLED IN OCCUPIED AND UNOCCUPIED MODES AS FOLLOWS:

 OCCUPIED: THE VAV TERMINAL UNIT IS CONTROLLED WITHIN USER DEFINED MAXIMUM AND MINIMUM SUPPLY AIR VOLUME SETTINGS. THE CONTROLLER MONITORS THE ROOM TEMPERATURE SENSOR MODULATES THE SUPPLY AIR DAMPER IN SEQUENCE WITH THE REHEAT COIL TO MAINTAIN THE ROOM TEMPERATURE AT SET POINT. ZONES SHALL NOT CALL FOR HEAT UNLESS REHEAT COIL IS UNABLE TO MAINTAIN SPACE TEMPERATURE. ZONE DAMPERS SHALL ALSO REMAIN OPEN TO THEIR MAXIMUM POSITION SO LONG AS THE SPACE TEMPERATURE IS MAINTAINED TO MAXIMIZE VENTILATION RATE.

 UNOCCUPIED: THE ELECTRIC REHEAT COIL IS TURNED OFF. SHOULD ADDITIONAL HEAT BE REQUIRED AT NIGHT THE CONTROLLER MAY RESET TO THE TERMINAL UNIT OCCUPIED MODE FOR A PREDETERMINED TIME PERIOD UPON A SIGNAL FROM THE CONTROL SYSTEM OR MANUALLY AT THE ROOM SENSOR.
- BALANCE AIR AND WATER SYSTEMS USING NEBB CERTIFIED FIRM AND AS PER NEBB REQUIREMENTS TO WITHIN 5% OF TOTAL SYSTEM CAPACITY. PROVIDE 3 COPIES OF BALANCING REPORTS C/W SYSTEM SCHEMATICS.
- 22. ALTERNATES AND SUBSTITUTES

 SHOULD ELECTRICAL CHARACTERISTICS FOR "ALTERNATE" OR "EQUAL" EQUIPMENT DIFFER FROM EQUIPMENT SPECIFIED IT SHALL BE THE RESPONSIBILITY OF THE EQUIPMENT MANUFACTURER TO PAY ALL COSTS ASSOCIATED WITH THE REVISIONS TO THE ELECTRICAL CONTRACT.



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The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.

The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approva for relocation of service from Consultant before commencement of the work.

The drawings do not indicate all offsets fitting and accessories

which may be required. Provide the same to meet the required

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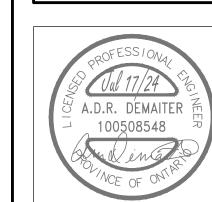
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2024-06-25 | ISSUED FOR 90% REVIEW

2024-05-23 ISSUED FOR 50% REVIEW

Rev.No. DATE REMARKS

ISSUED FOR



ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
MECHANICAL
SPECIFICATIONS

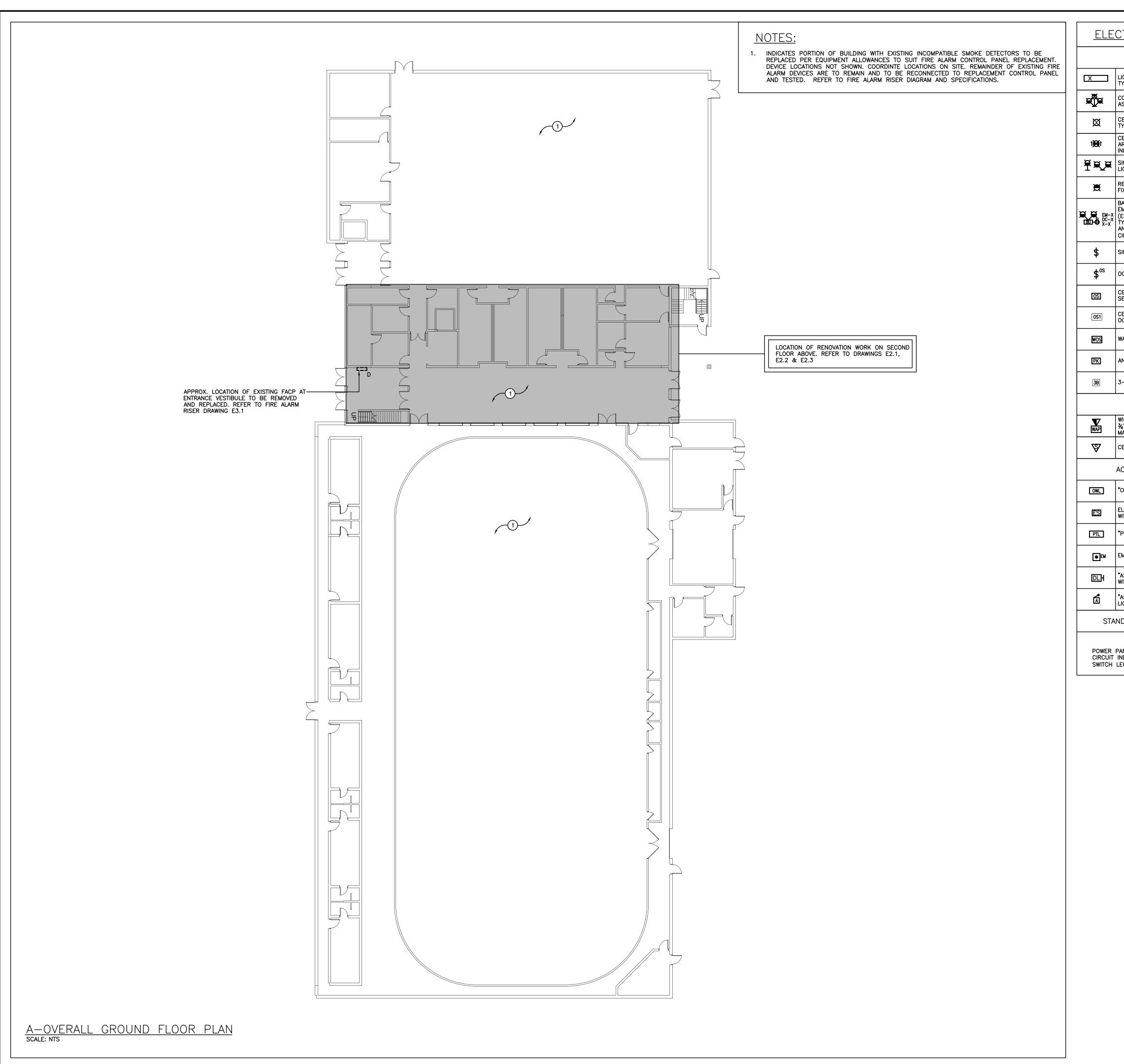
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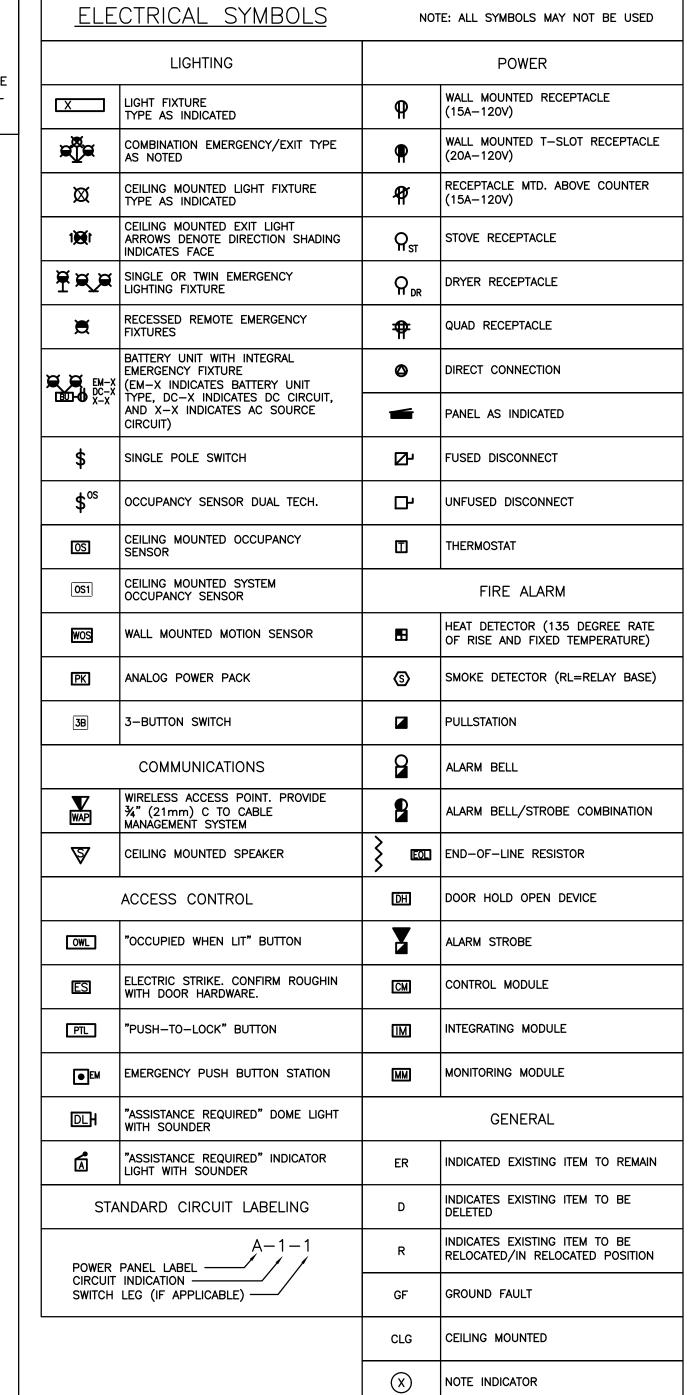
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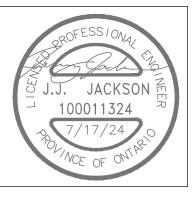
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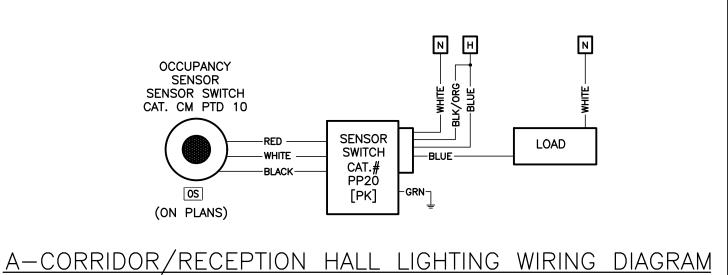
ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO LEGEND AND OVERALL PLAN

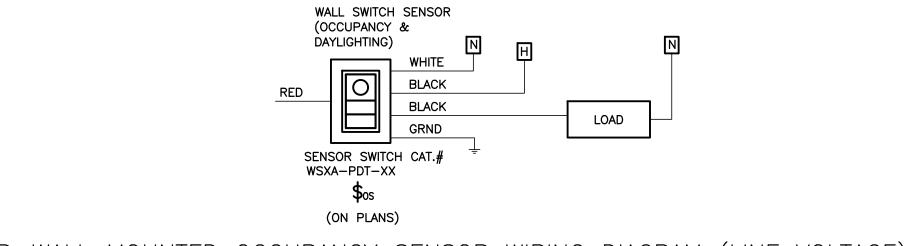
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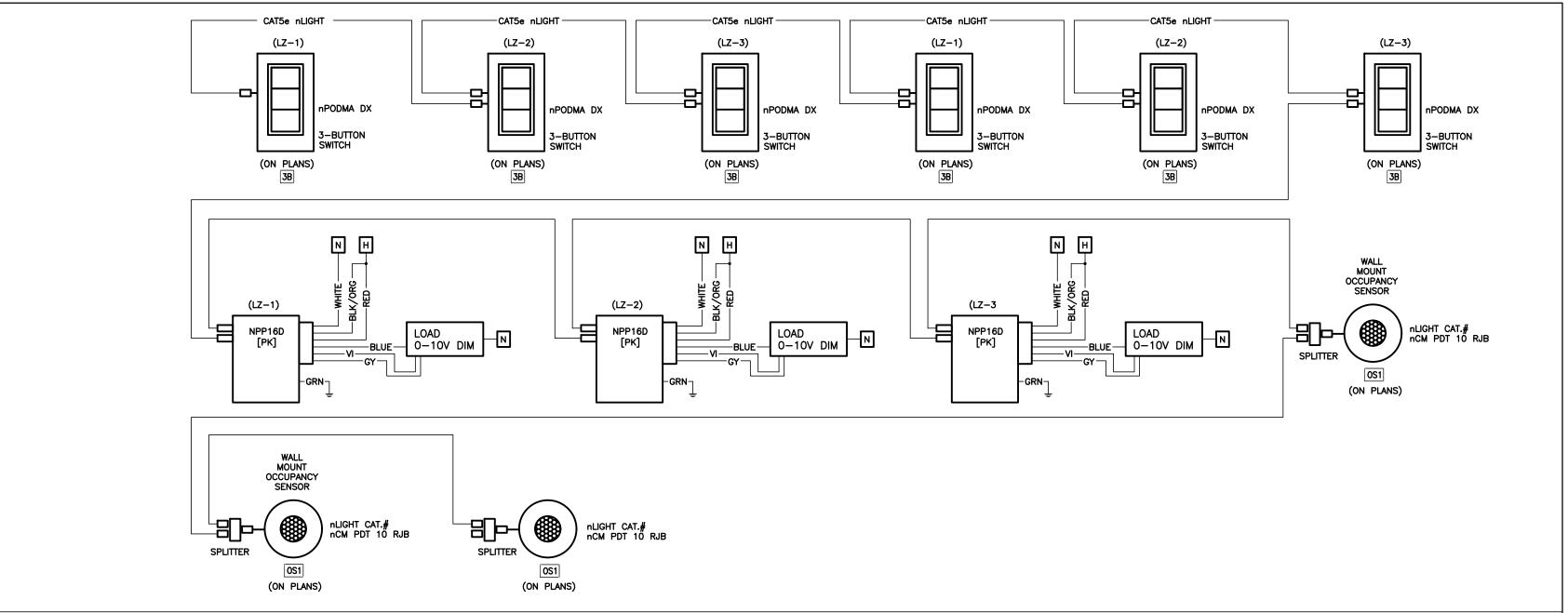
Space Type	Room Names	C	Control Sequence / Control Device(s):	Control System	DETAIL REFERENCE
CORRIDOR	ARCHIVE RM '209' & CORRIDOR	INDICATED ON DRAW OCCUPANCY SENSO	OMATIC OFF THROUGH OCCUPANCY SENSOR AS WINGS. OR SET TO 30 MINUTES. DELAY ONCE THE ROOM HAS E LIGHTS WILL AUTOMATICALLY TURN OFF.	DIGITAL OCCUPANCY CONTROL SYSTEM	A E1.2
WASHROOMS AND ARCHIVE STORAGE	UNIVERSAL WASHROOM '205' & ARCHIVE STORAGE '208'	Sequence: AUTO ON: AUTO OFF:	LIGHTS TURNED AUTOMATICALLY VIA WALL SENSOR SWITCH. 30 MINUTES AFTER ROOM IS VACATED, LIGHTS TURN OFF.	DIGITAL OCCUPANCY CONTROL SYSTEM	B E1.2
RECEPTION	RECEPTION HALL '210'	Sequence: LZ-2 AND LZ-3:	MANUAL ON THROUGH WALL SWITCH/POD/AUTOMATIC OFF THROUGH OCCUPANCY SENSOR/MANUAL OFF THROUGH WALL SWITCH/POD. DIMMING THROUGH WALL SWITCH/POD.	DIGITAL OCCUPANCY CONTROL SYSTEM	C E1.2
ARCHIVE	ARCHIVE ROOM '209'	Sequence: LZ-1:	AUTOMATIC ON/AUTOMATIC OFF THROUGH OCCUPANCY SENSOR/MANUAL OFF THROUGH SWITCH/POD. DIMMING THROUGH WALL SWITCH/POD.	DIGITAL OCCUPANCY CONTROL SYSTEM	D E1.2

REFER TO SPECIFICATIONS FOR FURTHER INFORMATION REGARDING COMMISSIONING AND 3RD PARTY FUNCTIONAL TESTING OF





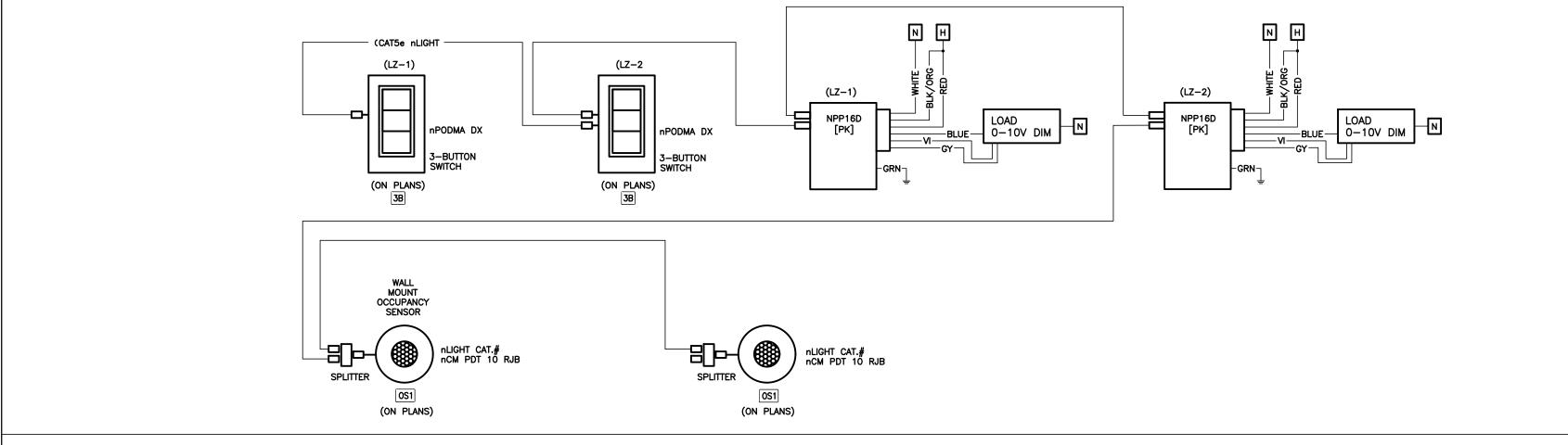
B-WALL MOUNTED OCCUPANCY SENSOR WIRING DIAGRAM (LINE VOLTAGE)



NOTES:

- POWER PACKS ARE TO BE MOUNTED ON A JUNCTION BOX IN CEILING SPACE. CONTROL WIRING AS INDICATED BY MANUFACTURER IS TO BE PLENUM RATED CATSE CABLE C/W RJ45 CONNECTORS. ENSURE CEILING MOUNTED OCCUPANCY SENSOR IS INSTALLED IN AN OUTLET BOX AND IS MOUNTED A
- MINIMUM OF 605mm (24") FROM DIFFUSERS AND 300mm (12") FROM LIGHT FIXTURES. SWITCHES SHALL BE AS NOTED ON DRAWINGS.
- REFER TO FLOOR PLANS FOR QUANTITIES OF INDICATED DEVICES.
 INDICATED CATALOGUE NUMBERS ARE FOR nLIGHT PRODUCTS. EQUALS ARE ACCEPTABLE FROM THE FOLLOWING MANUFACTURERS: WATTSTOPPER GREENGATE
- 7 THE MANUFACTURER'S REPRESENTATIVE IS TO PROVIDE AN ON SITE COMMISSIONING SESSION WITH
- THE CONTRACTOR AND/OR CONSULTANT TO CONFIRM OPERATION. AS AN OPTION, THE CONTRACTOR/SUPPLIER MAY REVISE THESE DEVICES TO A SINGLE DIGITAL ROOM CONTROLLER. IF SO, POWER MUST BE PROVIDED TO THE CONTROLLER FROM THE LINE SIDE OF THE ROOM'S LIGHTING CIRCUIT. IF AN ADDITIONAL WIRING METHOD IS REQUIRED BY THE MANUFACTURER THE CONTRACTOR MUST INCLUDE ALL COSTS IN TENDER.
- LOW VOLTAGE 0-10V PLENUM RATED CONTROL WIRING AS INDICATED BY MANUFACTURER. 10 COMMISSIONING REPORT IS TO BE INCLUDED IN THE OWNER'S MANUAL.

C-RECEPTION HALL LIGHTING WIRING DIAGRAM SCALE: N.T.S.



- POWER PACKS ARE TO BE MOUNTED ON A JUNCTION BOX IN CEILING SPACE. CONTROL WIRING AS INDICATED BY MANUFACTURER IS TO BE PLENUM RATED CAT5E CABLE C/W RJ45
- 3 ENSURE CEILING MOUNTED OCCUPANCY SENSOR IS INSTALLED IN AN OUTLET BOX AND IS MOUNTED A
- MINIMUM OF 605mm (24") FROM DIFFUSERS AND 300mm (12") FROM LIGHT FIXTURES. SWITCHES SHALL BE AS NOTED ON DRAWINGS.
- REFER TO FLOOR PLANS FOR QUANTITIES OF INDICATED DEVICES. INDICATED CATALOGUE NUMBERS ARE FOR nLIGHT PRODUCTS. EQUALS ARE ACCEPTABLE FROM THE FOLLOWING MANUFACTURERS: WATTSTOPPER
- GREENGATE
- 7 THE MANUFACTURER'S REPRESENTATIVE IS TO PROVIDE AN ON SITE COMMISSIONING SESSION WITH THE CONTRACTOR AND/OR CONSULTANT TO CONFIRM OPERATION.
- AS AN OPTION, THE CONTRACTOR/SUPPLIER MAY REVISE THESE DEVICES TO A SINGLE DIGITAL ROOM CONTROLLER. IF SO, POWER MUST BE PROVIDED TO THE CONTROLLER FROM THE LINE SIDE OF THE ROOM'S LIGHTING CIRCUIT. IF AN ADDITIONAL WIRING METHOD IS REQUIRED BY THE MANUFACTURER THE CONTRACTOR MUST INCLUDE ALL COSTS IN TENDER.
- 9 LOW VOLTAGE 0-10V PLENUM RATED CONTROL WIRING AS INDICATED BY MANUFACTURER. 10 COMMISSIONING REPORT IS TO BE INCLUDED IN THE OWNER'S MANUAL.

D-ARCHIVE ROOM LIGHTING WIRING DIAGRAM



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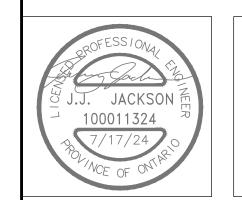
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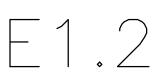
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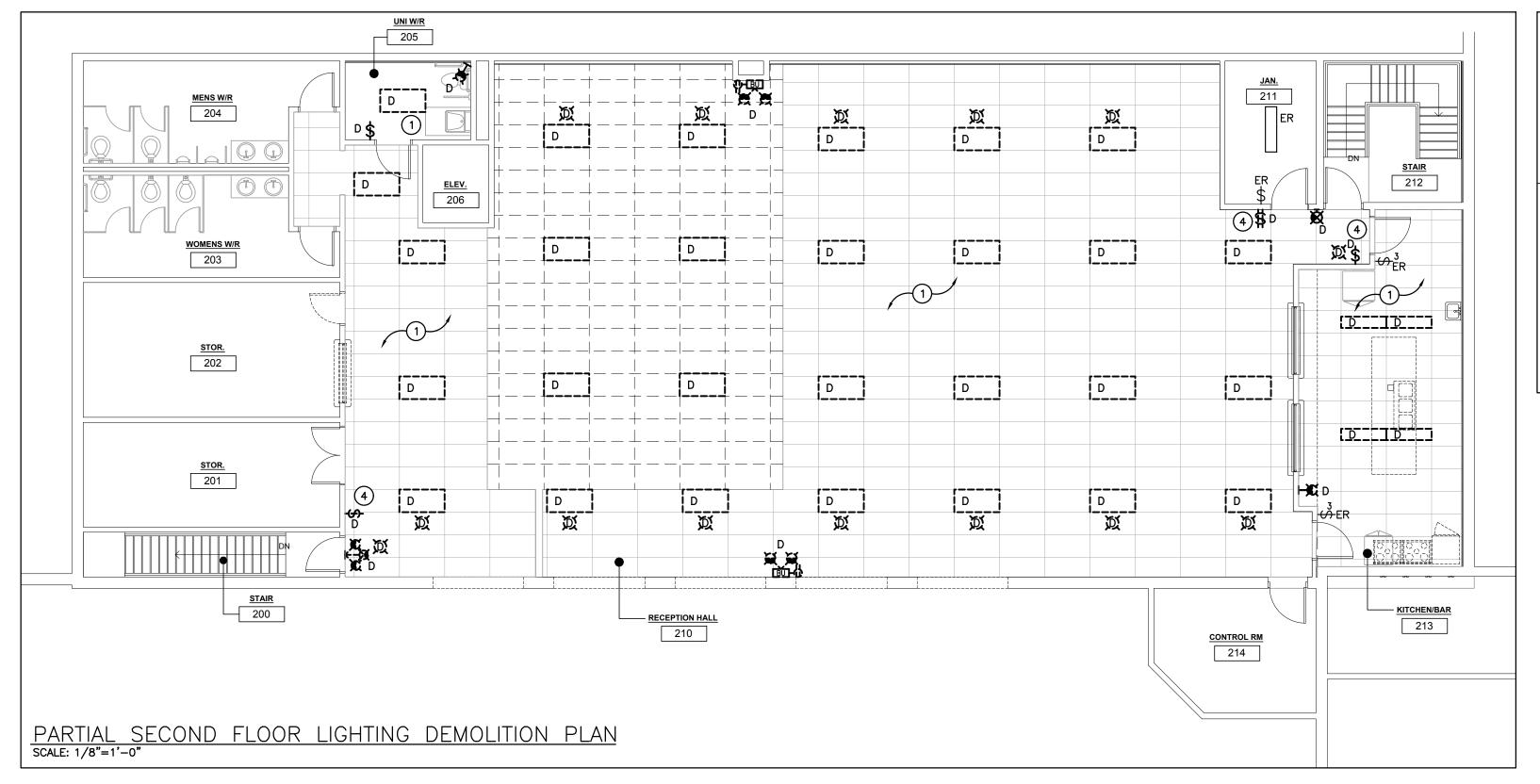


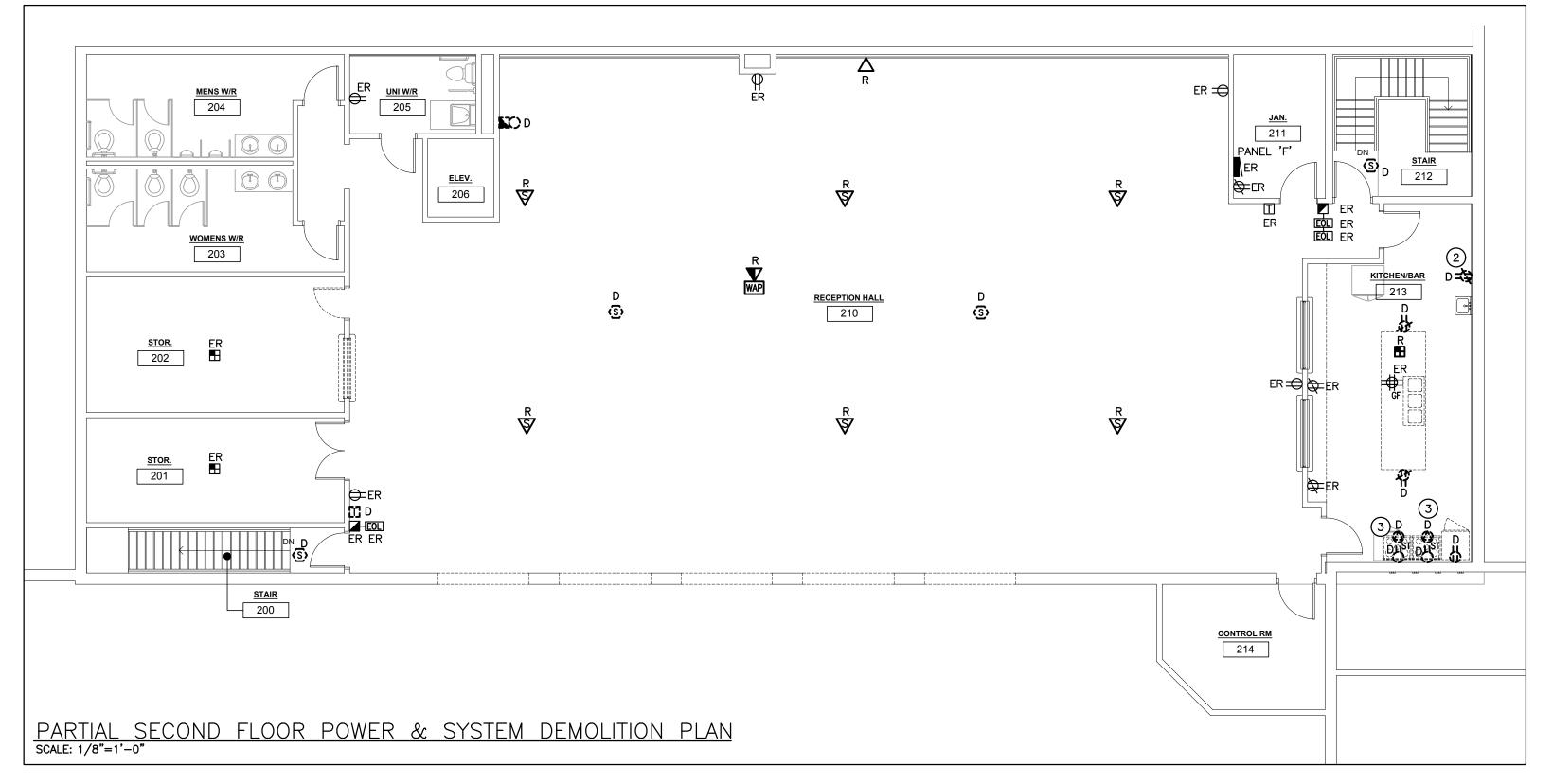
ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO LIGHTING CONTROLS DETAILS

24061

05/24/24







GENERAL NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED.

SPECIFIC DEMOLITION NOTES

- 1 IN THIS AREA, FIXTURES ARE TO BE DISCONNECTED AND REMOVED. MAINTAIN WIRING FOR CONNECTION TO NEW FIXTURES AS NOTED ON THE RENOVATION DRAWINGS.
- INDICATES EXISTING RECEPTACLE TO BE DISCONNECTED AND REMOVED. MAINTAIN WIRING FOR CONNECTION OF NEW RECEPTACLE AS NOTED ON THE RENOVATION DRAWING.
- 3 INDICATES EXISTING RANGE HOOD TO BE REMOVED. EXTEND/MAINTAIN BRANCH WIRING AND CIRCUIT FOR NEW ELECTRIC STOVE. REFER RENOVATION PLAN FOR MORE INFORMATION.
- 4 EXISTING SWITCH TO BE REMOVED C/W WIRING BACK TO SOURCE. PROVIDE NEW STAINLESS COVER-PLATE.



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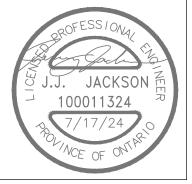
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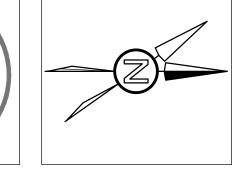
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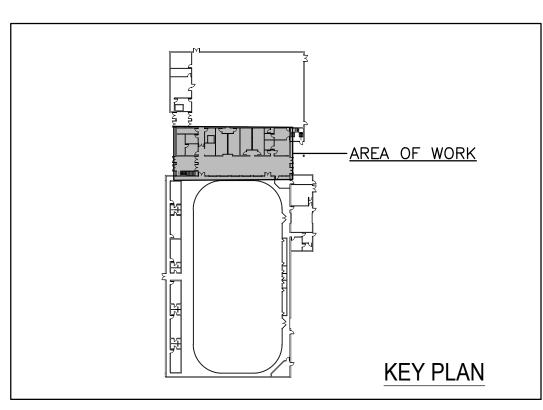
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FLOOR DEMOLITION
PLAN



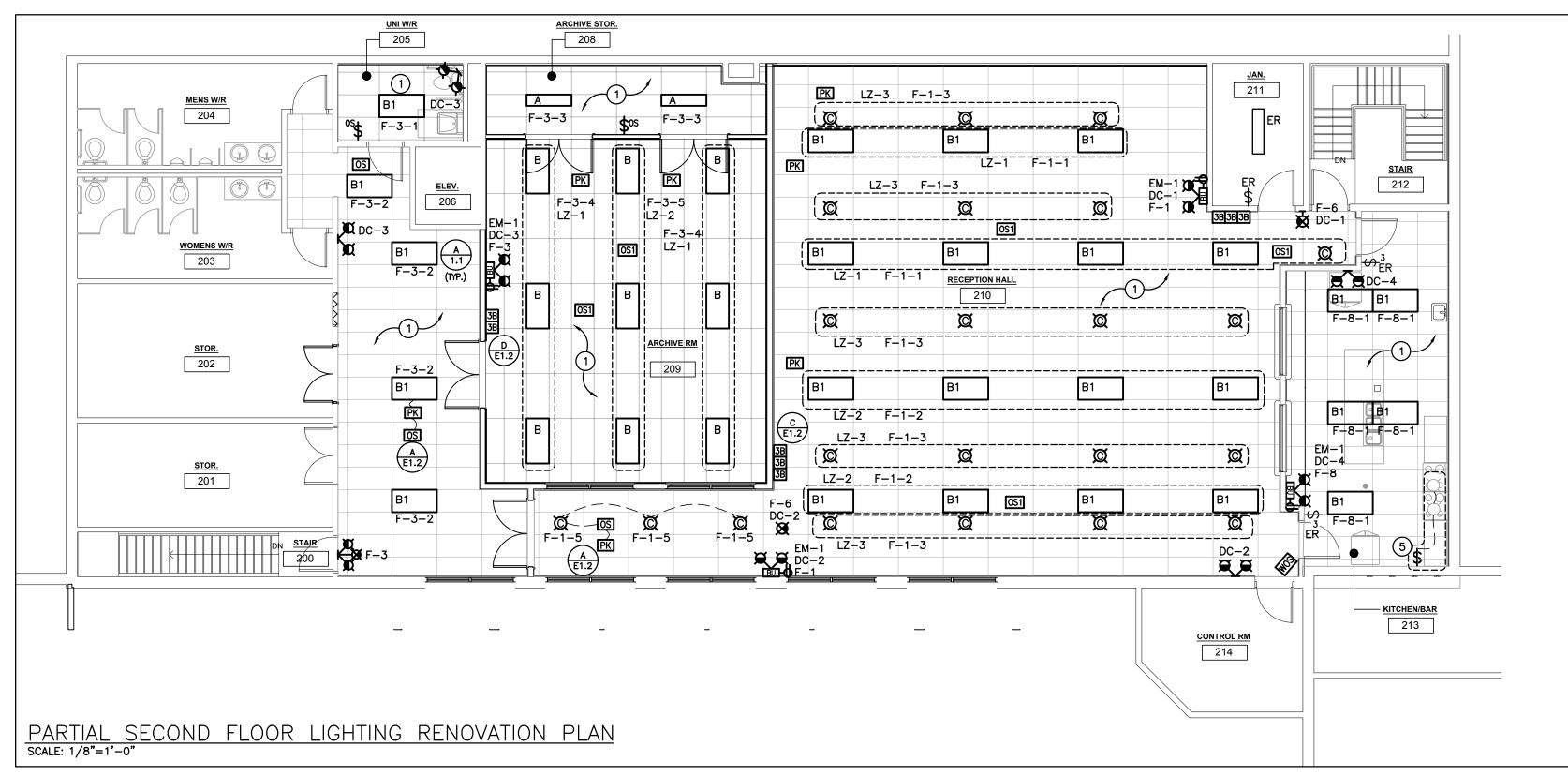
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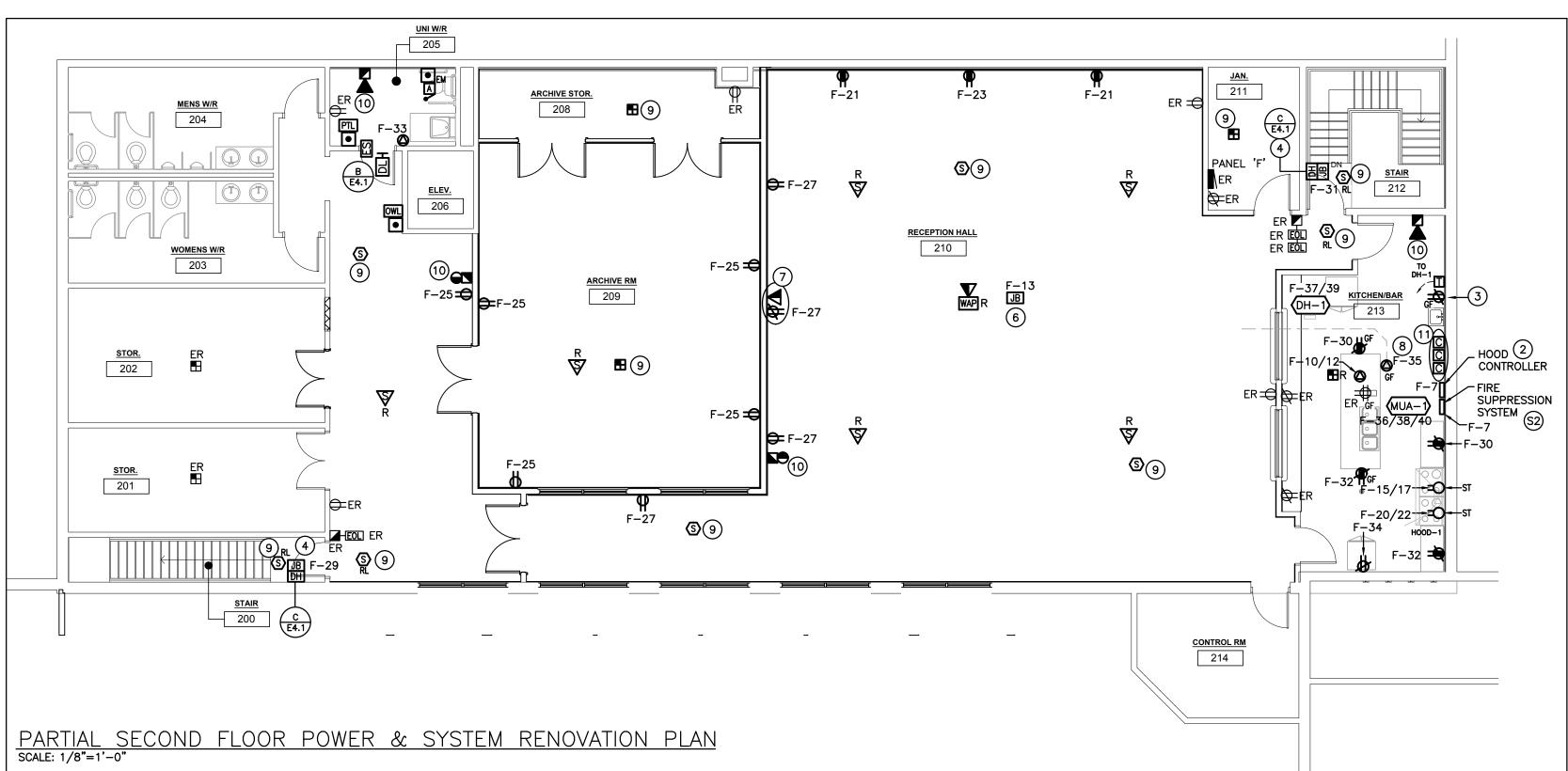
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GENERAL NOTES

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- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- INDICATES WITHIN NOTED AREA CONNECT NEW LIGHTING FIXTURE TO EXISTING CIRCUIT MADE AVAILABLE DURING DEMOLITION. NOTED CIRCUIT NUMBER ARE FOR REFERENCE ONLY.
- INDICATES HOOD CONTROLLER FOR INTERLOCKING OF MAKE UP AIR UNIT AND ROOF EXH. FAN EF-1. COORDINATE LOCATION WITH HOOD SUPPLIER AND MECHANICAL CONTRACTOR.
- 3 INDICATES CONNECT NEW RECEPTACLE TO EXISTING CIRCUIT MADE AVAILABLE DURING DEMOLITION.
- 4 PROVIDE 120V HARDWIRED CONNECTION C/W JUNCTION BOX AND STEP DOWN TRANSFORMER (120V:24V) ABOVE ACCESSIBLE CEILING SPACE TO SERVE THE MAGNETIC DOOR HOLD OPEN DEVICES. REFER TO DETAIL C/E4.1 AND TO SPECIFICATIONS FOR FURTHER DETAILS AND REQUIREMENTS.
- 5 INDICATES LIGHTING INTEGRATED IN NFPA HOOD. COORDINATE INSTALLATION REQUIREMENTS AND SWITCH LOCATION WITH SHOP DRAWINGS PRIOR TO INSTALLATION. HOOD LIGHTING TO BE WIRED TO LOCAL INTEGRAL TO HOOD. CONNECT TO CIRCUIT F—9.
- INDICATES PROVIDE JUNCTION BOX UP IN CEILING SPACE FOR VAV CONTROLLER.
- INDICATES DEVICES FOR OWNER'S TV. DEVICES SHALL BE MOUNTED IN 2-GANG BACK BOX EQUAL TO EVOLUTION SERIES WALL BOX MODEL #EFSB2. MOUNTING HEIGHT TO BE COORDINATED ON SITE. PRIOR TO ROUGH-IN. PROVIDE A 1-1/4"E.C. W/ PULL ROPE TO ACCESSIBLE CEILING SPACE FOR FUTURE AV WIRING.
- 8 INDICATES THIS CONTRACTOR TO SUPPLY AND INSTALL POWER FOR HEAT TRACING. COORDINATE WORK WITH MECHANICAL CONTRACTOR.
- 9 INDICATES NEW FIRE ALARM DETECTOR CONNECTED TO NEW ADDRESSABLE LOOP AND CROSS ZONED WITH EXISTING LOCAL FLOOR ZONE. REFER TO FIRE ALARM RISER DIAGRAM AND ZONE SCHEDULE.
- 10 INDICATES NEW FIRE ALARM SIGNAL DEVICE CONNECTED TO NEW SIGNAL CIRCUIT. REFER TO FIRE ALARM RISER DIAGRAM AND ZONE SCHEDULE.
- INDICATES TWO (2) NEW 240V 40A-2P AND ONE (1) 240V 20A-1P CONTACTORS C/W H-O-A AND PILOT LIGHT IN ACCESSIBLE CEILING SPACE FOR SHUTDOWN OF NOTED ELECTRICAL LOADS BENEATH SUPPRESSION SYSTEM HOOD PER NOTE #S2. CIRCUITS F-15/17, F-20/22, AND F-32 RESPECTIVELY.

SUPPRESSION SYSTEM NOTES

- S1 PROVIDE 120V UNSWITCHED POWER FROM CIRCUIT AS NOTED FOR SUPPRESSION
- S2 PROVIDE CONTROL WIRING FROM SUPPRESSION SYSTEM SUCH THAT IN A FIRE CONDITION, SYSTEM MUST SHUT OFF ALL POWER AND/OR FUEL TO ALL APPLIANCES BELOW EXHAUST HOOD. REFER TO KITCHEN EQUIPMENT SCHEDULE. PROVIDE MULTI-POLE CONTACTORS TO SUIT QUANTITY OF BRANCH CIRCUITS FOR ITEMS BEING SHUTDOWN. CONNECT TO FIRE ALARM SYSTEM.
- S3 PROVIDE INTERCONNECT FOR SHUTDOWN OF KITCHEN MAKEUP AIR UNIT.



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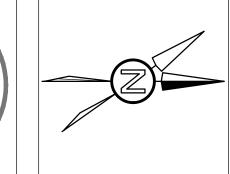
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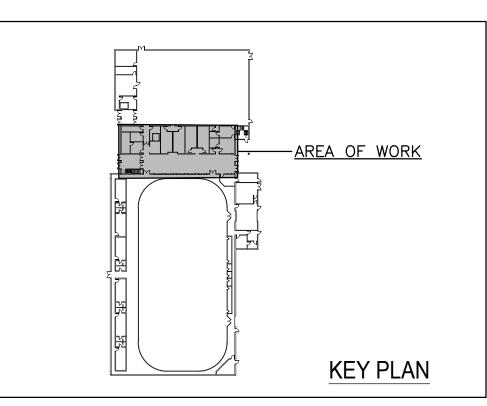
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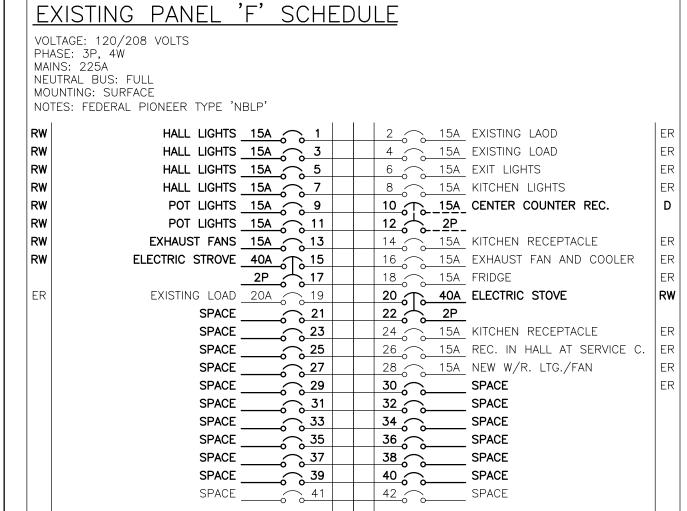


GENERAL NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.

SPECIFIC NOTES

1 INDICATES NEW EXHAUST FAN 'EF-1' TO BE FED FROM PANEL 'F'.



PROPOSED PANEL 'F' SCHEDIJE PROVIDE A NEW TYPE WRITTE					PROVIDE A NEW TYPE WRITTEN PAN DIRECTORY AND INCLUDE A COPY I	IEL
RW	RECEPTION HALL LIGHTS 15A			1 2	15A EXISTING LAOD	ER
RW	CORRIDOR & ARCHIVE LIGHTS 15A	, –		4	15A EXISTING LOAD	ER
RW	HALL LIGHTS 15A	5		6	15A EXIT LIGHTS	ER
RW	FIRE SUPPRESSION SYSTEM 15A			8	15A KITCHEN LIGHTS	ER
RW	EXHAUST HOOD & LIGHTS 15A			10	30A KITCHEN '213' DISHWASHER	NB
SP	(EF-1) EXHAUST FAN EF-1 15A			12	2P	
RW	VAV CONTROLLER 15A			14	15A KITCHEN RECEPTACLE	ER
RW	KITCHEN '213' ELECTRIC STV. 40A	15		16	15A EXHAUST FAN AND COOLER	ER
		17		18	15A FRIDGE	ER
ER	EXISTING LOAD 20A	19		20 0	40A KITCHEN '213' ELECTRIC STV.	RW

AT THE COMPLETION OF THE PROJECT,

1	<u> </u>	_		
RW	VAV CONTROLLER 15A 13		14 15A KITCHEN RECEPTACLE	R
RW	KITCHEN '213' ELECTRIC STV. 40A 15		16 15A EXHAUST FAN AND COOLER E	R
	<u>2P</u> 0 17		18 15A FRIDGE	R
ER	EXISTING LOAD 20A 19		20 40A KITCHEN '213' ELECTRIC STV. R	w
NB	RECEPTION HALL '210' REC. 20A 21		22 2P	
NB	RECEPTION HALL '210' REC. 20A 23		24 15A KITCHEN RECEPTACLE E	R
NB	CORRIDOR RECEPTCALE 15A 25		26 15A REC. IN HALL AT SERVICE C. E	R
NB	RECEPTION HALL '210' REC. 15A 27		28 15A NEW W/R. LTG./FAN	R
NB	NORTH STAIRS DOOR HOLDER 15A 29		30 20A KITCHEN GFI T-SLOT RECEPT. N	в
NB	SOUTH STAIRS DOOR HOLDER 15A 31		32 20A KITCHEN GFI T-SLOT RECEPT. N	В
NB	UNI. W/R. DOOR OPERATOR 15A 33		34 15A KITCHEN COOLER RECEPT. N	в
NB	*HEAT TRACE 15A 35		36 20A MINI INLINE MUA (MUA-1) N	В
NB	DH-1 ELEC. DUCT HEATER 25A 37		38	
	<u>2P</u> 39		40 3P	

DESIGNATION

- 'ER' INDICATES EXISTING SERVICE AND BREAKER THAT SHOULD REMAIN UNTOUCHED
- 'SP' INDICATES EXISTING BREAKER THAT MAY BECOME SPARE DUE TO DEMOLITION. (CONFIRM ON SITE)
 'RW' INDICATES EXISTING BREAKER THAT SHOULD BE REWIRED TO SERVICE DEVICES INDICATED ON PLAN
 'NB' INDICATES NEW BREAKER AND WIRING TO SERVICE INDICATED. PROVIDE MOUNTING HARDWARE AS
 REQUIRED.
- 'D' INDICATES EXISTING BREAKER TO BE REMOVED COMPLETE. PROVIDE FILLER PLATES AS REQUIRED.

NOTES: THIS CONTRACTOR IS TO INVESTIGATE BREAKERS AND REVISE PANEL SCHEDULES TO SUIT RENOVATION, NOTING ANY BREAKERS THAT BECOME SPARE DUE TO DEMOLITION. THIS CONTRACTOR IS ALSO TO NOTIFY THE CONSULTANT OF ANY BREAKERS THAT ARE INDICATED TO BE DEMOLISHED OR REUSED, BUT WHICH ARE IN USE BY OTHER DEVICES OR SERVICES.

(*) INDICATES 33mA GROUND FAULT STYLE BREAKER



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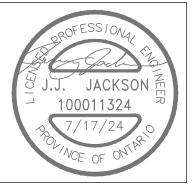
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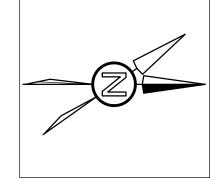


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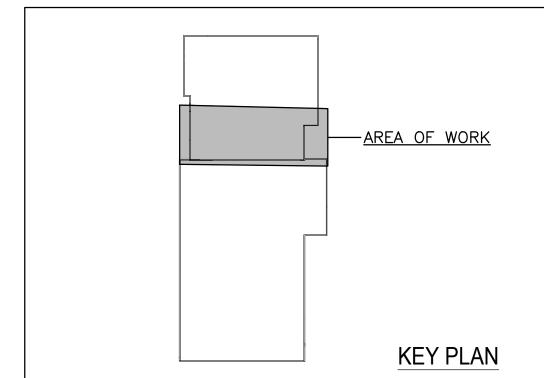
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PARTIAL ROOF PLAN
AND PANEL
SCHEDULE

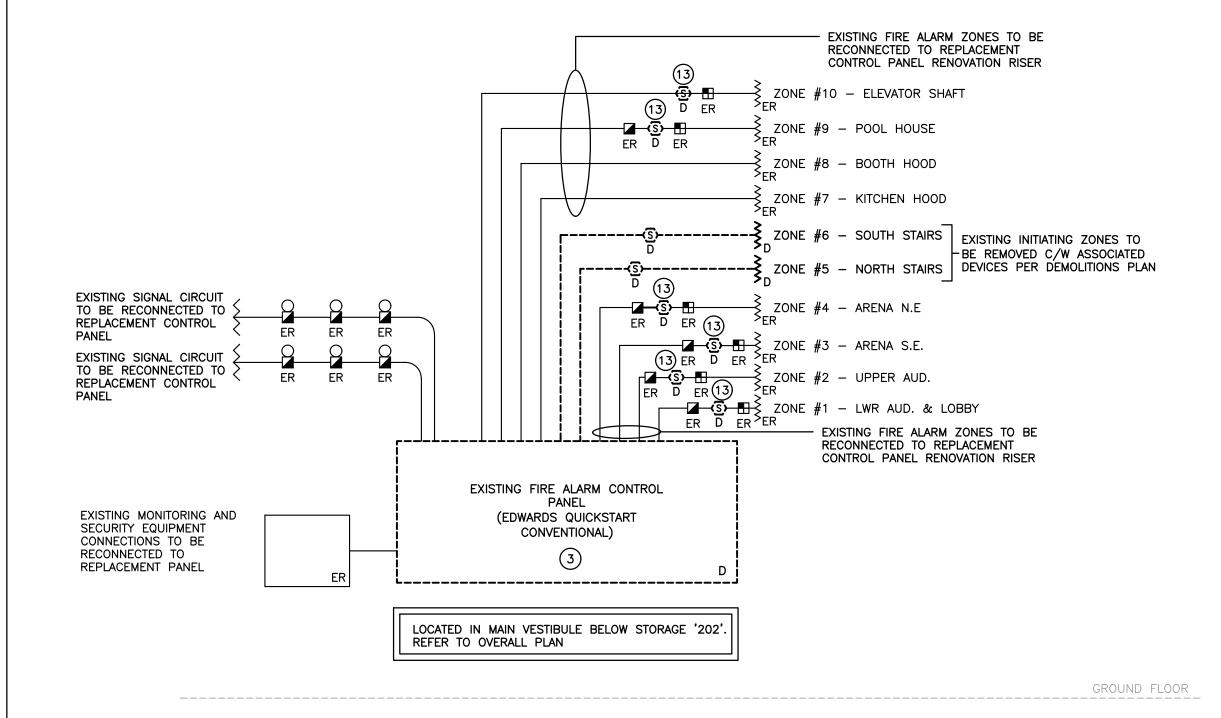
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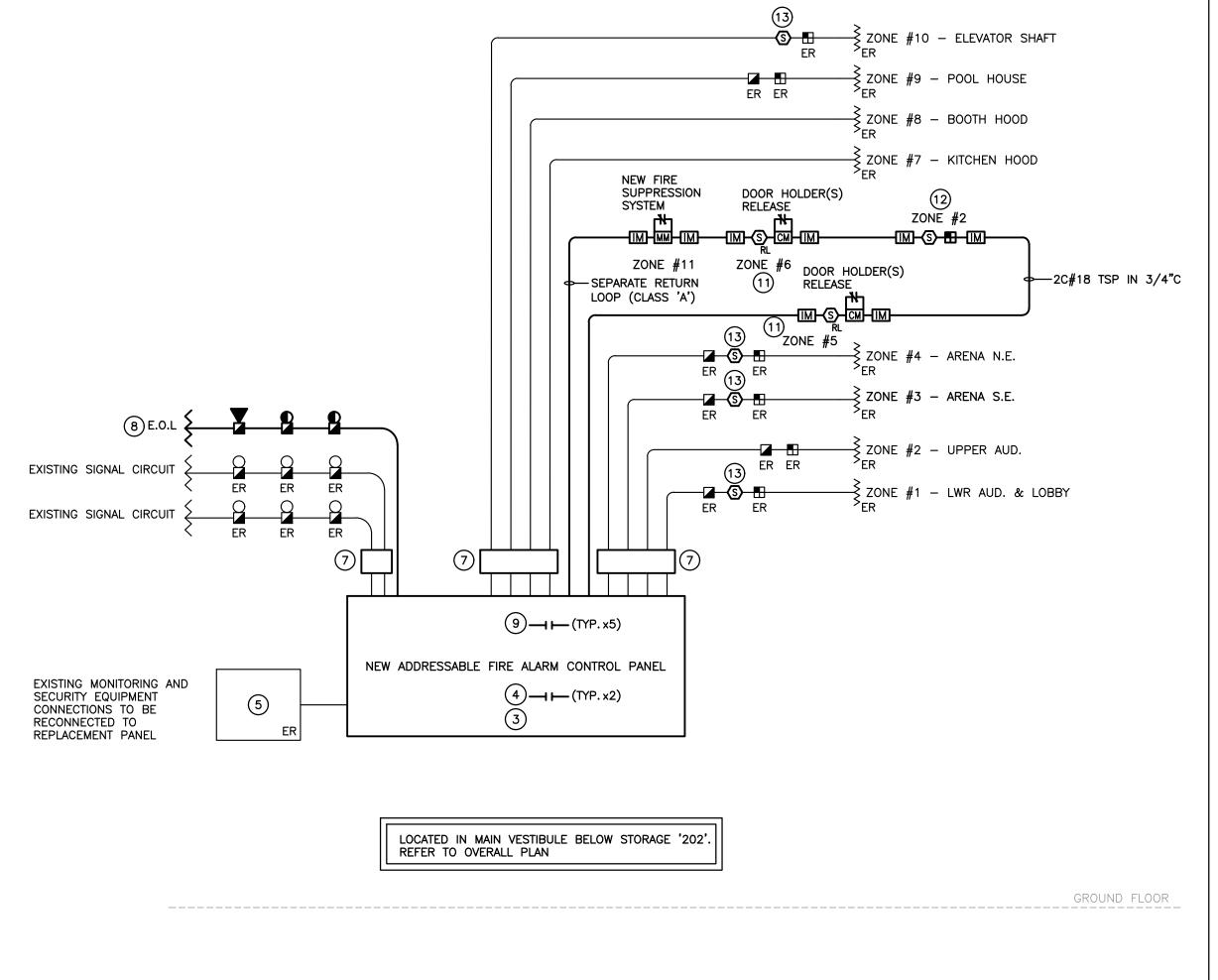




PARTIAL FIRE ALARM RISER DIAGRAM — DEMOLITION

PARTIAL FIRE ALARM RISER DIAGRAM - RENOVATION

SCALE: N.T.S.



FIRE ALARM SPECIFIC NOTES

- REFER TO FLOOR PLANS FOR EXACT LOCATION AND QUANTITY OF NEW DEVICES.
- 2 PROVIDE NEW FIRE ALARM ZONES AS INDICATED.
- 3 EXISTING FIRE ALARM CONTROL PANEL IS TO BE REPLACED WITH NEW. DISCONNECT EXISTING SIGNAL AND INITIATING CIRCUITS AND RECONNECT TO NEW PANEL.
- 4 PROVIDE TWO SETS OF RELAYS FOR SECURITY SYSTEM FOR ALARM AND TROUBLE SIGNALS.
 5 RECONNECT ALL OTHER ACCESSORIES AS REQUIRED (SECURITY, ULC MONITORING, ETC.)
 - 6 EXTEND EXISTING SIGNAL WIRING TO SUIT NEW DEVICES.
 - INDICATES FIRE ALARM ZONE JUNCTION BOX C/W TERMINAL BLOCK FOR EXTENSION AND RECONNECTION OF EXISTING CIRCUIT WIRING TO REPLACEMENT FIRE ALARM CONTROL PANEL. QUANTITY TEN (10) EXISTING INITIATING ZONE CIRCUITS ARE TO BE EXTENDED AND RECONNECTED. ALL EXISTING NOTIFICATION CIRCUITS ARE TO BE EXTENDED AND RECONNECTED. THE JUNCTION BOX C/W TERMINAL BLOCK FOR EXTENSION AND RECONNECTION OF EXISITING CIRCUITS WILL BE ABOVE EXISTING ACCESSIBLE CEILING.
 - INDICATES NEW NOTIFICATION CIRCUIT TO SUIT QUANTITY OF NEW SIGNAL DEVICES PER RENOVATION PLAN. REFER TO FIRE ALARM SPECIFICATIONS.
- 9 WITHIN THE FIRE ALARM CONTROL PANEL, PROVIDE A MINIMUM 5 NORMALLY OPEN DRY CONTACTS RATED FOR 120V AC AT 1.0 AMP. FOR ELEVATOR RECALL FUNCTIONS. PROVIDE WIRING AND CONNECTION FROM THESE CONTACTS TO THE ELEVATOR CONTROLLER. SHOULD EXISTING ELEVATOR NOT SUPPORT RECALL FUNCTIONS, LABEL RELAYS AS SPARE FOR
- 10 INDICATES NEW ADDRESSABLE LOOP FOR REQUIRED FIRE ALARM CONNECTIONS TO NEW INITIATING DEVICES PER RENOVATION PLANS. REFER TO FIRE ALARM SPECIFICATIONS.
- 11 INDICATES NEW DETECTOR ON NEW ADDRESSABLE LOOP TO REPLACE EXISTING LOCAL CONVENTIONAL ZONE AS INDICATED.
- 12 INDICATES NEW DETECTOR ON NEW ADDRESSABLE LOOP TO BE CROSS—ZONED WITH EXISTING LOCAL CONVENTIONAL FLOOR ZONE AS INDICATED.
- 13 THE MANUFACTURER AND ELECTRICAL CONTRACTOR ARE TO INCLUDE IN THEIR BID THE COST TO REPLACE ALL EXISTING INCOMPATIBLE CONVENTIONAL TYPE SMOKE DETECTORS TO SUIT CONTROL PANEL REPLACEMENT. REFER TO SPECIFICATIONS FOR REPLACEMENT DEVICE ALLOWANCE QUANTITY.

Zone	Description	l Alarm	Supervisory
1	LWR AUD & LOBBY	†	†
2	UPPER AUD.	, \$	T
3	ARENA S.E.	. · ·	! !
4	ARENA N.E.	&	T
5	NORTH STAIRS		
6	SOUTH STAIRS	<u>.</u>	
7	KITCHEN HOOD	<u> </u>	
8	BOOTH HOOD	<u> </u>	
9	POOL HOUSE		
10	ELEVATOR SHAFT	•	
11	SPARE	[
12	SPARE		
13	SPARE	I	
14	SPARE	 	
15	SPARE	<u> </u>	<u> </u>

Zone	Description	Alarm	Supervisory
1	LWR AUD & LOBBY	•	
2	UPPER AUD.	•	
3	ARENA S.E.	•	
4	ARENA N.E.	•	
5	NORTH STAIRS	•	
6	SOUTH STAIRS	•	
7	KITCHEN HOOD	•	
8	воотн ноор	•	
9	POOL HOUSE	•	
10	ELEVATOR SHAFT	•	
11	KITCHEN 213 FIRE SUPPRESSION SYSTEM	•	
12	SPARE		
13	SPARE		
14	SPARE		
15	SPARE		



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ARTHUR, ONTARIO
FIRE ALARM RISER
DIAGRAM AND
SCHEDULES

l**rawn :** SB

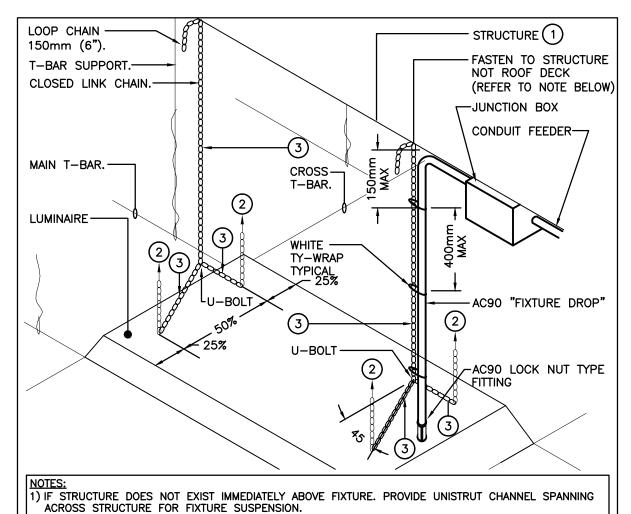
Shoot:

check:

b : 24061

05/24/24

E3.1

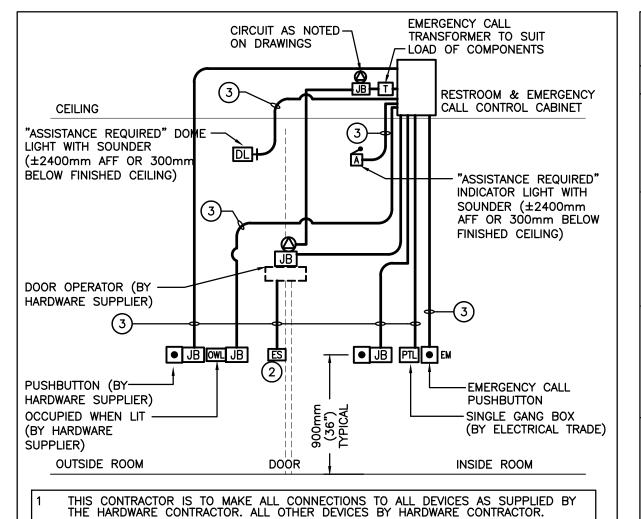


2) INDICATES INDEPENDENT SUSPENSION TO STRUCTURE THAT IS TO BE INCLUDED IN BASE TENDER TO

3) IF SEISMIC RESTRAINT REQUIREMENTS ARE NOT REQUIRED AS PART OF THE SPECIFICATION, THEN THE FIXTURES ARE TO BE SUSPENDED TO STRUCTURE USING THIS METHOD.

SUIT SEISMIC RESTRAINT REQUIREMENTS.

A-LUMINAIRE SUSPENSION DETAIL

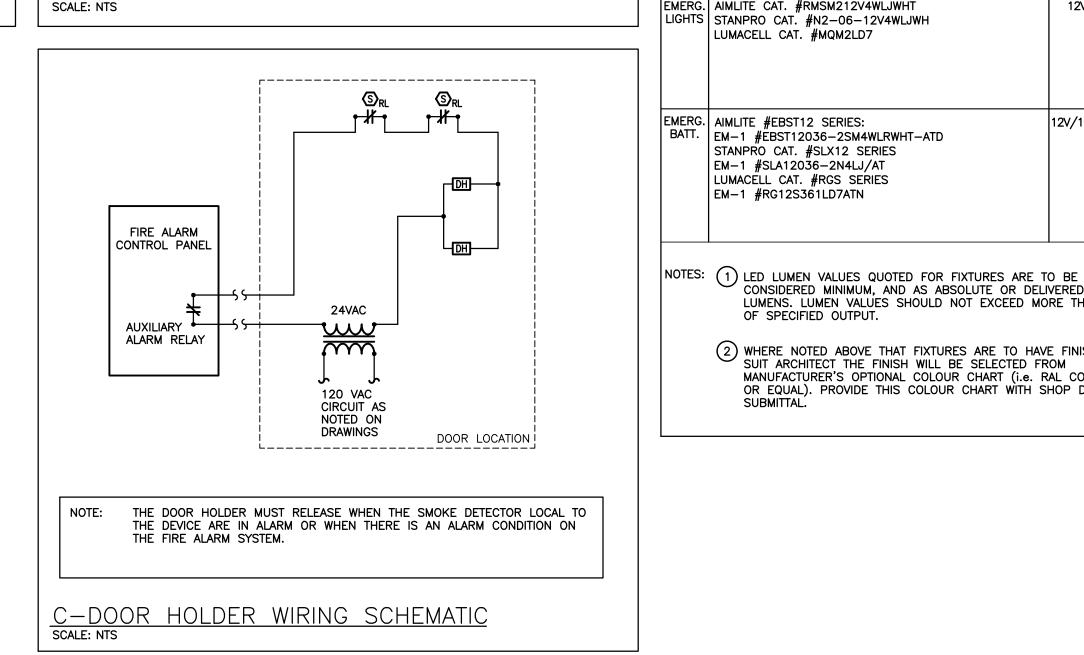


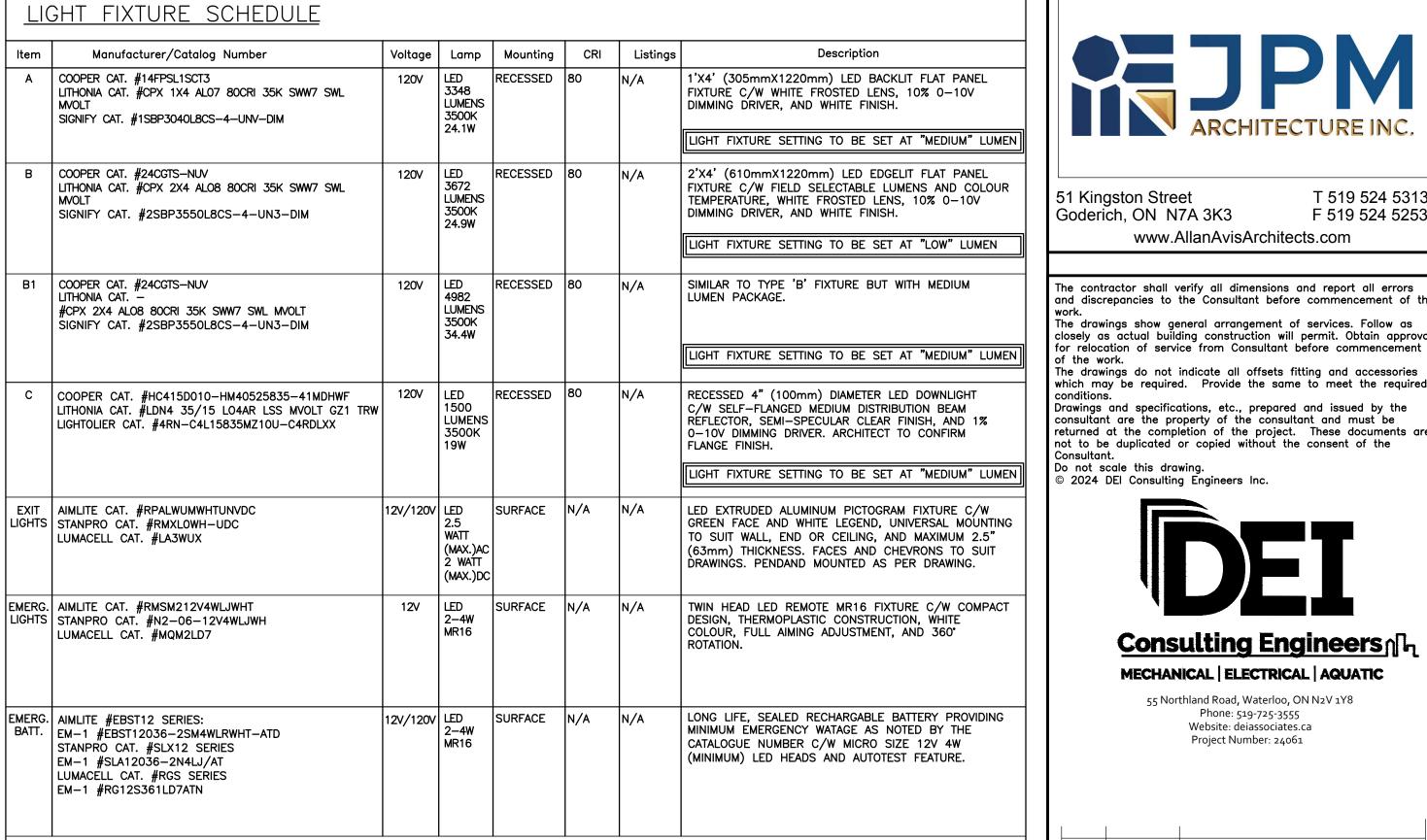
WHEN EMERGENCY CALL STATION IS ENGAGED, ELECTRIC STRIKE IS TO DISENGAGE TO ALLOW FOR ACCESS TO ROOM. CO-ORDINATE REQUIRED CONNECTIONS WITH THE HARDWARE SUPPLIER. REFER TO NOTE 3.

PROVIDE LOW VOLTAGE INTERCONNECT WIRING TO SUIT SUPPLIER. FOR PRICING

B-UNIVERSAL WASHROOM DEVICE INSTALLATION

PURPOSES ALLOW 4c#18 IN 13mmC.





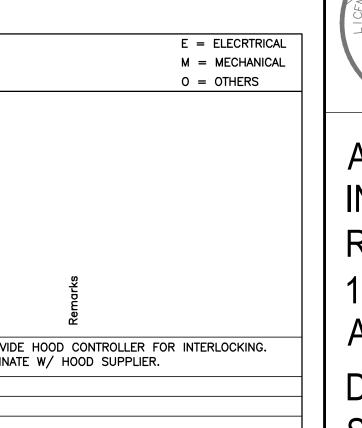
3 IF THERE ARE ANY DISCREPANCIES BETWEEN THE FIXTURE PART NUMBER AND

DESCRIPTION, IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO BRING THESE TO

DESCRIPTION WILL BE MARKED BY CONSULTANT AT TIME OF SHOP DRAWING REVIEW.

WILL BE ENTERTAINED FOR FAILURE TO DO SO. FINAL FIXTURE CHARACTERISTICS AND

THE ELECTRICAL CONSULTANT'S ATTENTION PRIOR TO TENDER CLOSE. NO EXTRAS





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The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approva for relocation of service from Consultant before commencement The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.

Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.



MECHANICAL | ELECTRICAL | AQUATIC

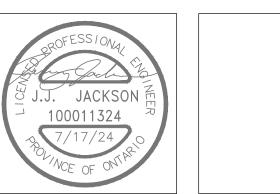
55 Northland Road, Waterloo, ON N2V 1Y8 Phone: 519-725-3555 Website: deiassociates.ca

Project Number: 24061

3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR

Rev.No. DATE REMARKS



ARTHUR ARENA INTERIOR RENOVATIONS 158 DOMVILLE ST. ARTHUR, ONTARIO **DETAILS AND** SCHEDULES

05/24/24

24061

check:

EQUIPMENT WIRING SCHEDULE Description Electrical Data Isolating Device Remote Items Other Interlock Starter Ctrl Device EF-1 KITCHEN EXHAUST FAN | M | 120 | 1/10 HP HOOD SUPPLIER TO PROVIDE HOOD CONTROLLER FOR INTERLOCKING. COORDINATE W/ HOOD SUPPLIER. MUA-1 | MINI INLINE MUA M 208 16.7A EF-1 E | | E | E M 208 4 KW EEE DH-1 ELECTRIC DUCT HEATER

CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED

WHERE NOTED ABOVE THAT FIXTURES ARE TO HAVE FINISH TO SUIT ARCHITECT THE FINISH WILL BE SELECTED FROM

MANUFACTURER'S OPTIONAL COLOUR CHART (i.e. RAL COLOURS

OR EQUAL). PROVIDE THIS COLOUR CHART WITH SHOP DRAWING

OF SPECIFIED OUTPUT.

SUBMITTAL.

LUMENS. LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10%