



Township of Wellington North

P.O. Box 125 • 7490 Sideroad 7 W • Kenilworth • ON • N0G 2E0

Committee of Adjustment

Monday, September 10, 2012 at 7:30 p.m.

Municipal Office Council Chambers, Kenilworth

AGENDA

Page 1 of 2

AGENDA ITEM	PAGE NO.
<p>Chairman</p> <ol style="list-style-type: none">1. Officially open the public meeting.2. Declaration of Pecuniary Interest and General Nature Thereof.3. Minutes, A2/12 (attached)	01
<p><u>APPLICATION A3/12</u></p>	
<p>Owners/Applicant: David James Stevenson and Joanne Henrietta Stevenson</p>	
<p>The Location of the Subject Property is described as Part Lot 18, Concession 1 North, with a civic address of 8426 East-West Luther Townline. The location of the property is shown on the map attached.</p> <p>The Purpose and Effect of the Application is to provide relief from section 6.1.3 of the Wellington North Zoning By-law regulating the maximum height for an accessory building of a residential use. The applicant is proposing to construct an accessory structure which exceeds the maximum height permitted by 0.53 m. (1.75 ft.). The property is located in an Agricultural (A) zone.</p>	05
<ol style="list-style-type: none">4. Secretary Treasurer – notice mailed to surrounding property owners and required agencies on August 30, 2012 as well as posted on the property.	
<ol style="list-style-type: none">5. Application for a Minor Variance	06
<ol style="list-style-type: none">6. Township Planner – Linda Redmond will review the County comments (attached).	16

AGENDA ITEM	PAGE NO.
<p>7. Correspondence/Comments received:</p> <ul style="list-style-type: none">- None <p>8. Are there any persons present who wish to make oral and/or written submissions in support of the proposed minor variance?</p> <p>Are there any persons present who wish to make oral and/or written submissions against this application?</p> <p>Those wishing to be notified of decision please leave name and address with secretary-treasurer.</p> <p>Committee:</p> <ul style="list-style-type: none">- Comments and questions <p>9. Adjournment</p>	

TOWNSHIP OF WELLINGTON NORTH

COMMITTEE OF ADJUSTMENT

A2/12

Page Two

APPLICATION A2/12

Applicant: Thomas Gordon and Doris Gordon

THE LOCATION OF THE SUBJECT PROPERTY is described as Part of Block 5, RP 61R9567, with a civic address of 1 Farrell Lane, Arthur.

THE PURPOSE AND EFFECT OF THE APPLICATION is to provide relief from the required exterior side yard setback for a detached shed. The property is located on a corner lot and the applicants would like to construct a 140 sq.ft. shed, 5 feet from the exterior lot line. The property is located in a Residential (R2-23) zone and is occupied by a semi-detached dwelling.

4. The Secretary Treasurer confirmed that notice was mailed to surrounding property owners and required agencies on May 14, 2012 as well as posted on the property.
5. Linda Redmond, Township Planner, reviewed her comments dated May 23, 2012.

The variances requested would provide relief from sections 6.1.2 a) & b) of the Zoning By-law to allow a shed to be located in the exterior side yard with a setback from the property line of 1.5 m (5 ft.).

The Planning Department had no concerns with the relief requested. The application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. The Planning Department recommended that the approval be conditional on the attached sketch.

Under the Wellington County Official Plan the subject property is designated Residential in the Arthur Urban area. Section 13.7 of the Plan provides consideration for minor variances provided the general intent of the Official Plan and Zoning By-law are maintained and the variance is minor and desirable for the appropriate development of the land. Consideration shall be given as to whether compliance with the by-law would be unreasonable, undesirable or would pose an undue hardship on the applicant.

TOWNSHIP OF WELLINGTON NORTH

COMMITTEE OF ADJUSTMENT

A2/12

Page Three

Under the Wellington North Zoning By-law the subject lands are zoned Residential (R2-23). The property is occupied by a semi-detached dwelling and is located on a corner lot. The applicants are proposing to construct a 140 sq.ft. shed in the exterior side yard and are requesting the following variances:

1. An exterior side yard setback of 1.5m (5 ft) for a proposed shed, whereas the minimum setback required is 6 m (19.6 ft.).
2. Relief to allow a shed within the exterior side yard whereas accessory structures must be located in a rear or side yard only.

6. Correspondence/Comments received:

- Grand River Conservation Authority
 - Liz Yerex, Resource Planner
 - No Objection

7. Questions/Comments

Persons present who wish to make oral and/or written submissions in support of the proposed minor variance.

The Applicants were present to answer any questions regarding the application. They would like to build a garden shed a little bit out from the side of the house.

Persons present who wish to make oral and/or written submissions against this application.

None.

Those wishing to be notified of the decision were asked leave their name and address with the secretary-treasurer.

Committee – Comments and Questions

None.

TOWNSHIP OF WELLINGTON NORTH

COMMITTEE OF ADJUSTMENT

A2/12

Page Four

Moved by: Councillor Goetz
Seconded by: Councillor Burke

THAT the minor variance applied for in Application A2/12 be authorized.

Resolution No. 2

Carried

8. Adjournment (7:35 p.m.)

Moved by: Councillor Goetz
Seconded by: Councillor Burke

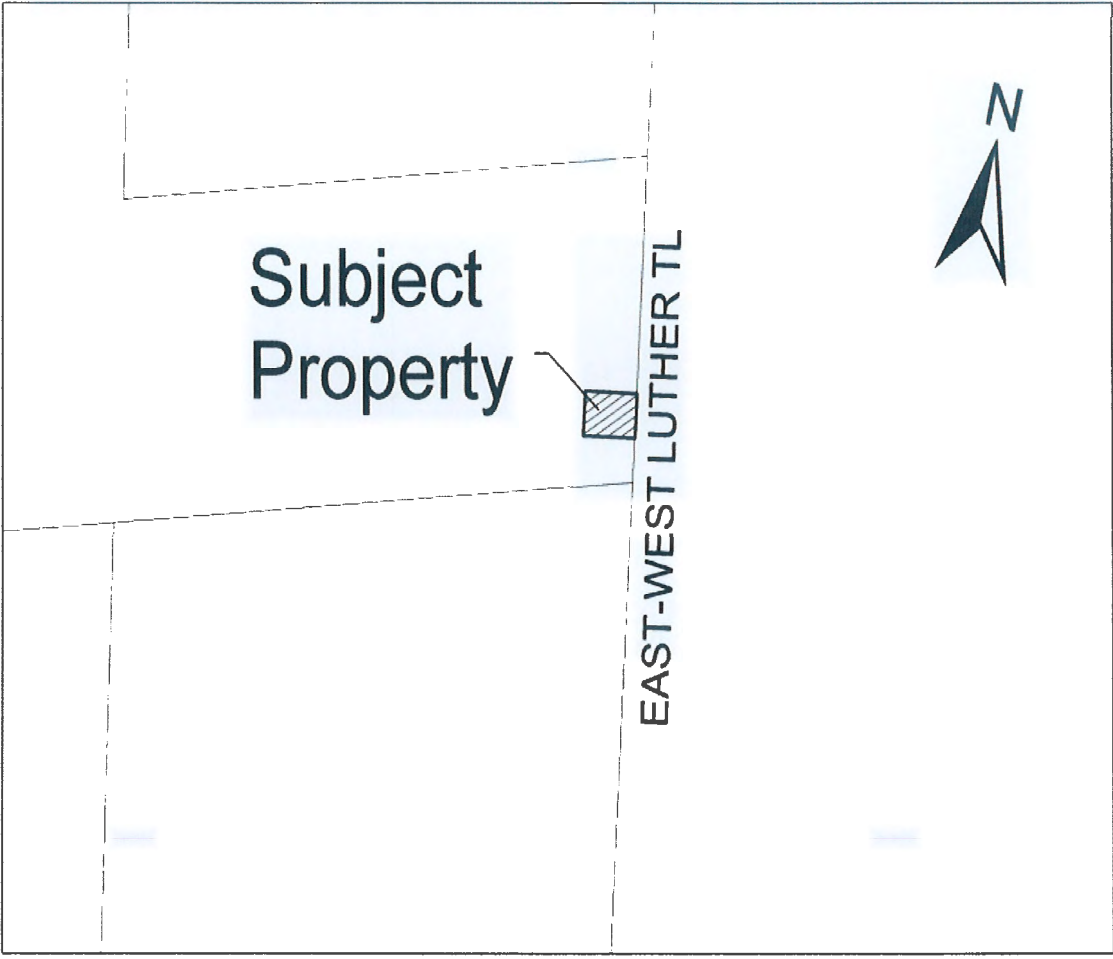
That the Committee of Adjustment meeting of May 28, 2012 be adjourned.

Resolution No. 3

Carried

Alternate Secretary Treasurer

Chairman





TOWNSHIP OF WELLINGTON NORTH

APPLICATION FOR A MINOR VARIANCE

Date Received: Aug 24, 2012

File Number: A 03 112

Roll # 23-49-000-014-00450-0000

Date Application Filed: _____

Application Fee Received: \$ 750.00

A. GENERAL INFORMATION

1.* APPLICANT INFORMATION

a)* Registered Owner's Name(s): David & Jeanne Stevenson

Address: 96 Leeson St S. Box 462 Grand Valley, ON

Phone: Home ^{JOANNE} (519) 928-5442 Work ^{DAVE} (905) 979-4012 Fax _____

Email: davejostevenson@gmail.com

Please note: AUTHORIZATION IS REQUIRED IF THE APPLICANT IS NOT THE OWNER (See Section G)

b)* Applicant (Agent) Name(s): _____

Address: _____

Phone: Home (____) _____ Work (____) _____ Fax (____) _____

Email: _____

c)* Name, Address, Phone No. of all persons having any mortgage charge or encumbrance on the property: _____

d) Send Correspondence To: Owner Agent [] Other []

2.* PROVIDE A DESCRIPTION OF THE "ENTIRE" PROPERTY

Measurements are in: Metric [] Imperial [] units

Municipal Address: 8426 E-W Luther Tline

Concession: 1 N Lot: 18 Registered Plan No.: 60R 2933

Area: _____ Depth: 200 Frontage (Width): 150 Width of Road Allowance (if known): _____

3a).* WHAT IS THE ACCESS TO THE SUBJECT PROPERTY?

- i) Provincial Highway []
- ii) Seasonally maintained municipal road []
- iii) Continually maintained municipal road
- iv) Other public road []
- v) Right-of-way []
- vi) Water access []

3b).* IF ACCESS IS BY WATER ONLY, PLEASE DESCRIBE THE PARKING AND DOCKING FACILITIES USED OR TO BE USED AND THE APPROXIMATE DISTANCE OF THESE FACILITIES FROM SUBJECT LAND TO THE NEAREST PUBLIC ROAD.

N/A

4.* WHAT IS THE CURRENT OFFICIAL PLAN AND ZONING STATUS?

Official Plan Designation: PRIME AGRICULTURAL

Zoning: AGRICULTURAL

B. EXSTING AND PROPOSED SERVICES

5.* INDICATE THE APPLICABLE WATER SUPPLY AND SEWAGE DISPOSAL:

	Municipal Water	Private or Communal Water	Private Well	Other Water Supply	Municipal Sewers	Communal Sewers	Private Septic	Other Sewage Disposal
a) Existing*	[]	[]	[]	[]	[]	[]	[]	[]
b) Proposed	[]	[]	[X]	[]	[]	[]	[X]	[]

6. IS STORM DRAINAGE PROVIDED BY: Sewers [] Ditches [X] Swales [] Other means []

7. WHAT IS THE NAME OF THE ROAD OR STREET THAT PROVIDES ACCESS TO THE SUBJECT PROPERTY?

E-W Luther Town Line.

C. REASON FOR APPLICATION

8.* WHAT IS THE NATURE AND THE EXTENT OF THE RELIEF THAT IS BEING APPLIED FOR?
(Please specifically indicate on sketch)

TO ALLOW ACCESSORY BUILDING TO EXCEED HEIGHT OF MAIN BUILDING BY 1'9".

9.* WHY IS IT NOT POSSIBLE TO COMPLY WITH THE PROVISIONS OF THE BY-LAW?
(Please specifically indicate on sketch)

WE WISH TO PARK A CAMPER INSIDE BUILDING - WITH OUT THE HEIGHT THE DOOR WILL NOT BE TALL ENOUGH TO ALLOW CAMPER.

D. EXISTING SUBJECT AND ABUTTING PROPERTY LAND USES, BUILDINGS & THEIR LOCATIONS

10.* WHAT IS THE "EXISTING" USE OF:

a) THE SUBJECT PROPERTY? VACANT

b) THE ABUTTING PROPERTIES? RURAL / FARM LAND

11.* PROVIDE THE FOLLOWING DETAILS FOR ALL BUILDINGS ON OR PROPOSED FOR THE SUBJECT LAND: Measurements are in Metric [] Imperial [] units

	Existing	Proposed		Existing	Proposed
a) Type of Building(s)		HOUSE/GARAGE	b) Main Building Height		15.3 HOUSE/17' GARAGE
c) % Lot Coverage	13.3%		d) # of Parking Spaces		
e) # of Loading Space(s)			f) Number of Floors	1	
g) Total Floor Area (exclude basement)	4095' SQ FT		h) Ground Floor Area	3,000	4095 SQ FT

12.* WHAT IS THE LOCATION OF ALL BUILDINGS EXISTING AND PROPOSED FOR THE SUBJECT PROPERTY (Specify distances from front, rear and side lot lines) Measurements are in: Metric [] Imperial [X] units

	Existing	Proposed		Existing	Proposed
a) Front Yard		90'	b) Side Yards		10'
c) Rear Yard		10'			

13.* DATE OF ACQUISITION OF SUBJECT PROPERTY: Dec 22, 2010

DATE OF CONSTRUCTION OF ALL BUILDINGS ON SUBJECT PROPERTY: AUG - DEC 2012

14. HOW LONG HAVE THE EXISTING USES CONTINUED ON THE SUBJECT PROPERTY?
N/A

15.* HAS THE OWNER PREVIOUSLY APPLIED FOR RELIEF IN RESPECT OF THE SUBJECT PROPERTY
IF THE ANSWER IS YES, PLEASE INDICATE THE FILE NUMBER AND DESCRIBE BRIEFLY:
YES [] NO [X]

F. OTHER RELATED PLANNING APPLICATIONS

16.* HAS THE APPLICANT/ OWNER MADE APPLICATION FOR ANY OF THE FOLLOWING ON THE SUBJECT LAND?

Official Plan Amendment	Yes []	No [X]
Zoning By-law Amendment	Yes []	No [X]
Plan of Subdivision	Yes []	No [X]
Consent [Severance]	Yes []	No [X]

17.* IF THE ANSWER TO QUESTION 15 IS YES, PLEASE PROVIDE THE FOLLOWING INFORMATION:

File No. of Application: _____

Purpose of Application: _____

Status of Application: _____

G. AUTHORIZATION FOR AGENT/SOLICITOR TO ACT FOR OWNER:

(If affidavit (H) is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below must be completed)

I (we) _____ of the _____ of _____,

County/Region of _____ do hereby authorize _____ to act as my agent in this application.

Signature of Owner(s) Date

H.* AFFIDAVIT: (This affidavit must be signed in the presence of a Commissioner)

I (we) DAVID & JOANNE STEVENSON of the TOWNSHIP of East Luther Grand Valley County/Region of DUFFERIN solemnly declare that all the statements contained in this application are true, and I, (we), make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the CANADA EVIDENCE ACT.

DECLARED before me at the Township of Wellington North in the County of

Wellington North this 24 day of August, 2012.

Joanne Stevenson
Signature of Owner or Authorized Solicitor or Authorized Agent

AUG 24, 2012.
Date

C. Moore
Signature of Commissioner

Aug 24/12
Date

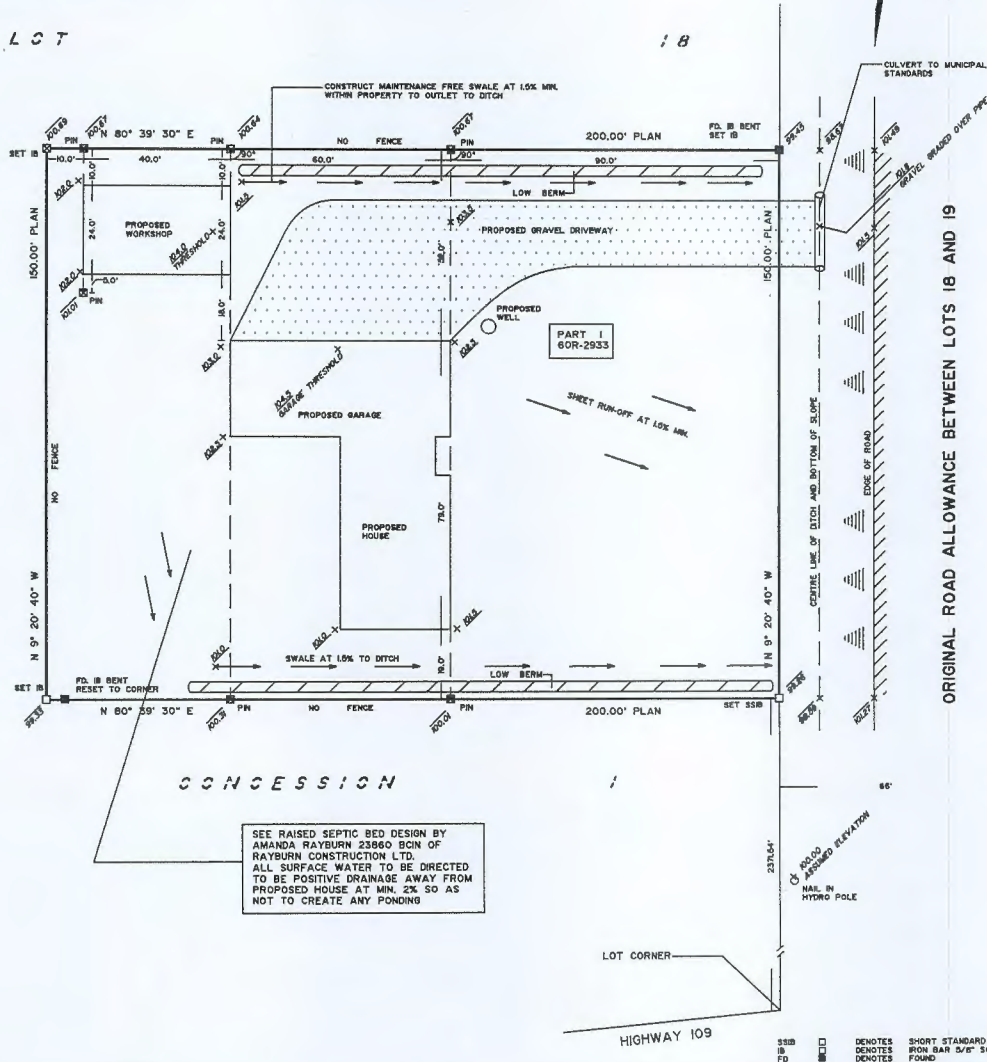
CATHERINE E. MOIRE, a Commissioner, etc., County of Wellington, Deputy Clerk of the Corporation of the Township of Wellington North.

APPLICATION AND FEE OF \$750.00 RECEIVED BY THE MUNICIPALITY:

Larren Boyer
Signature of Municipal Employee

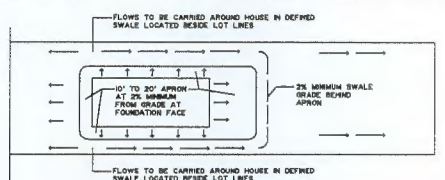
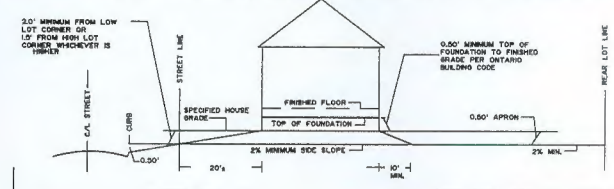
Aug 24/12.
Date

SKETCH OF PART OF LOT 18 CONCESSION 1
TOWNSHIP OF WELLINGTON NORTH (DESIGNATED AS PART 1 60R-2933)
 (FORMERLY MUNICIPAL TOWNSHIP OF WEST LUTHER)
COUNTY OF WELLINGTON
 SCALE: 1 INCH = 25 FEET || 300 metric
 DEREK GIBSON GRAHAM
 PROFESSIONAL SURVEYOR
 THIS IS NOT A PLAN OF SURVEY

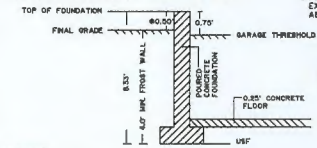


SEE RAISED SEPTIC BED DESIGN BY AMANDA RAYBURN 23860 BCIN OF RAYBURN CONSTRUCTION LTD. ALL SURFACE WATER TO BE DIRECTED TO BE POSITIVE DRAINAGE AWAY FROM PROPOSED HOUSE AT MIN. 2% SO AS NOT TO CREATE ANY PONDING

GENERIC DRAINAGE MODEL FOR RESIDENTIAL DWELLING OR STRUCTURE (SPLIT DRAINAGE) NOT TO SCALE



GENERIC FOUNDATION (NOT TO SCALE)



* FOLLOWING BUILDING CODE ACT, O. REG. 330/06 SECTION 8.15.4.6. EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 0.50' (150MM) ABOVE FINISHED GROUND LEVEL.

NOTES:

- ALL ELEVATIONS REFERRED TO NAIL IN HYDRO POLE ELEVATION 100.00'
 - ALL ELEVATIONS PROPOSED OR EXISTING TO BE VERIFIED BY USER OF THIS SKETCH PRIOR TO ANY WORKS BEING PERFORMED
 - POSITION OF ALL SERVICES TO BE VERIFIED BY USER OF THIS SKETCH PRIOR TO CONSTRUCTION
 - ALL SERVICES TO BE TO MUNICIPAL STANDARDS AND TO BE CONFIRMED PRIOR TO CONSTRUCTION
 - SEDIMENT AND EROSION CONTROLS: SILT FENCING TO BE INSTALLED ALONG PERIMETER OF THE EXCAVATION SITE PRIOR TO START OF CONSTRUCTION
 - PROPOSED ELEVATION (IF NO FINURE ELEVATION REMAINS THE SAME)
 - EXISTING ELEVATION
 - ALL ELEVATIONS AT GRADE LEVEL UNLESS NOTED OTHERWISE
 - ELEVATIONS ARE SHOWN IN IMPERIAL AND METRIC
 - NO KNOWLEDGE OF SUB-SURFACE SERVICES EXCEPT AS SHOWN
 - NO KNOWLEDGE OF ANY MATTERS THAT AFFECT THE ENVIRONMENT
 - DIRECTION OF OVERLAND FLOW
 - ALL ROOF WATER DOWNSPOUTS TO BE DIRECTED TO CATCHBASINS OR RUN ON SURFACE TO STREET
- TYPICAL OR GENERIC GRASSED SWALE ON LOT LINE
 - MAXIMUM SWALE SLOPE 3 : 1
 - 2% MINIMUM GRADIENT
 - 5% MAXIMUM GRADIENT (WITHOUT EROSION CONTROL SUCH AS ROCK IN BOTTOM OF SWALE TROUGH)
 - GENERIC "W" SWALE AT COMMON LOT LINE
 - LOW BERM TO BE GRASSED AND MOWABLE
 - MAXIMUM SWALE SLOPE 3 : 1
 - 2% MINIMUM GRADIENT
 - 5% MAXIMUM GRADIENT (WITHOUT EROSION CONTROL SUCH AS ROCK IN BOTTOM OF SWALE TROUGH)
 - GENERIC SWALE WITH UNDER DRAINAGE
 - BIG 10" OF APPROPRIATE DIAMETER WRAPPED IN FILTER CLOTH IN 3/4" STONE
 - GENERIC DRY WELL: INSTALL 10' x 6' x 4' DRY WELL FILLED WITH 3/4" TO 1 1/2" STONE WRAPPED IN FILTER CLOTH
 - PRIVATE ENTRANCES: PAVED: 0.5" HL, 0.5" GBC 'A' AND 0.5" GBC 'B'
 GRAVEL: 0.5" GBC 'A' AND 0.5" GBC 'B'
 - SITE GRADING: ENTRANCES: GRADIENT 2.0% MINIMUM, 6.0% MAXIMUM
 CROSS FALL 2.0% MINIMUM, 4.0% MAXIMUM
 LOTS: GRADIENT 2.0% MINIMUM, 6.0% MAXIMUM
 SWALES: GRADIENT 2.0% MINIMUM, 6.0% MAXIMUM
 SIDE SLOPES 3 HORIZONTAL TO 1 VERTICAL
 TERRACES: MAXIMUM SLOPE 3 HORIZONTAL TO 1 VERTICAL
 MAXIMUM ELEVATION DIFFERENCE 3.3'

NOTE: DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048

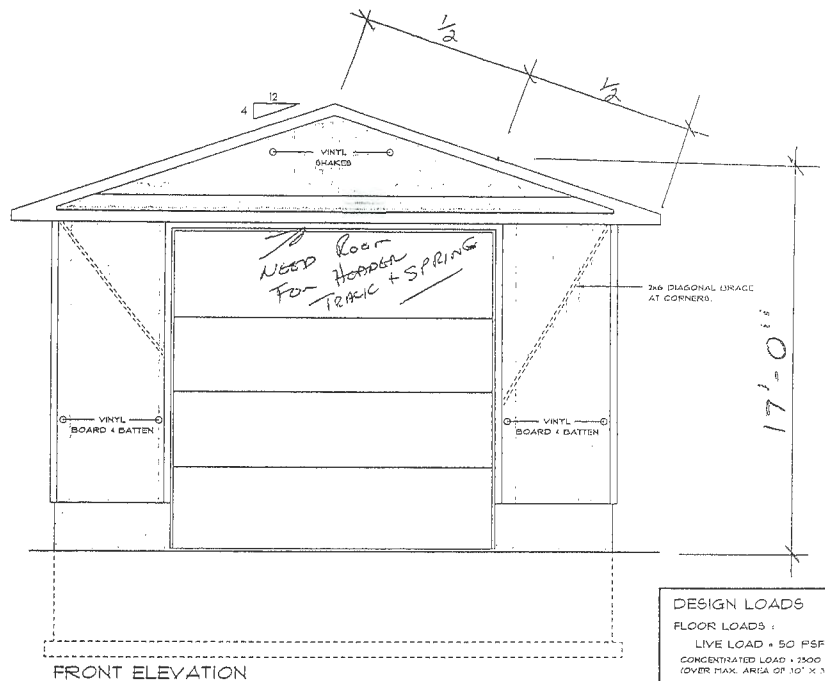
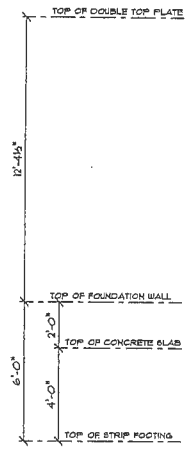
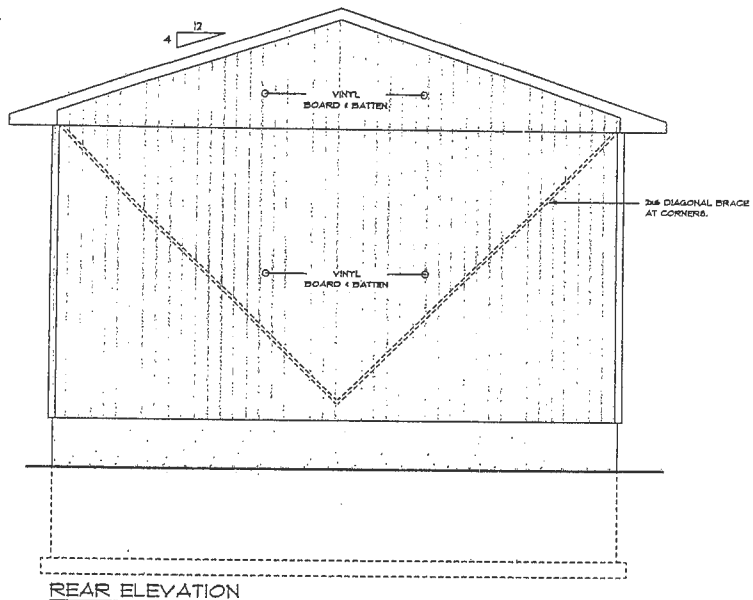


Derek G. Graham Limited
 Professional Land Surveying
 Land Use Planning
 OFFICE: 2387 Cabana Street East
 UNIT 101, Guelph, Ontario
 N1H 3M5
 (519) 846-5333 (toll-free)
 (519) 846-9305 (fax/voice)

PER: Ontario Land Surveyor	MAKING ADDRESS:
ACAD DATE: AUGUST 15, 2011	P.O. Box 200
FILE: 2 - 1 WEST LUTHER (GUPP)	City, Ontario
NOTE: Valid copy with seal and only	NON-PROFIT
SEAL	

EAST OF TOWNSHIP OF WEST LUTHER

ORIGINAL ROAD ALLOWANCE BETWEEN LOTS 18 AND 19



DESIGN LOADS

FLOOR LOADS :
 LIVE LOAD = 50 PSF
 CONCENTRATED LOAD = 2500 LBS
 (OVER FLOOR AREA OF 10' X 10')

ROOF LOADS :
 LIVE LOAD = 45 PSF
 DEAD LOAD = 15 PSF
 TOTAL ROOF LOAD = 60 PSF

SOIL BEARING CAPACITY :
 MINIMUM ALLOWABLE SOIL BEARING CAPACITY TO BE 75 KPa (10.9 psi).

IMPORTANT NOTE

BROOKVIEW DRAFTING & DESIGN DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS ON THIS PLAN UNLESS SUBMITTED IN WRITING DESCRIBING SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

BROOKVIEW DRAFTING & DESIGN SHALL NOT BE RESPONSIBLE FOR ANY DEPARTURE FROM THESE DRAWINGS ADVISED BY ANY BUILDING CONTRACTOR OR PROFESSIONAL CONSULTANT AT ANY TIME PRIOR TO OR DURING CONSTRUCTION. FURTHER, ANY SUCH DEVIATION OR CHANGES TO THESE PLANS SHALL BE THE RESPONSIBILITY OF THE BUILDING CONTRACTOR OR PROFESSIONAL CONSULTANT.

BROOKVIEW DRAFTING & DESIGN SHALL HAVE NO LIABILITY WITH RESPECT TO THE PLAN OR CONSEQUENT CONSTRUCTION, RESALE OF THESE DRAWINGS ARE STRICTLY PROHIBITED.

BUILDING CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL CONSTRUCTION SHALL COMPLY WITH PART 3 OF THE 2006 ONTARIO BUILDING CODE.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

CRAIG RITCHIE BCIN # 20334

Craig Ritchie

BROOKVIEW DRAFTING & DESIGN BCIN # 38233

NOTES

- PLANS ARE IN ACCORDANCE TO ONTARIO BUILDING CODE REQUIREMENTS
- SPECIAL DRAWING AND APPROVALS TO SUIT LOCAL CONDITIONS AND TO CONFORM TO LOCAL MUNICIPAL BY-LAW REMAIN THE RESPONSIBILITY OF THE OWNER
- DO NOT SCALE - DIMENSIONS GOVERN

CUSTOMER
 DAVE & JOANNE STEVENSON

LOCATION
 EAST / WEST LUTHER TOWNLINE
 WELLINGTON NORTH

DRAWING
 FRONT & REAR ELEVATIONS

SCALE
 3/16" = 1'-0"

DATE
 MAY 2011

DRAWN BY
 C.R.

CHECKED BY

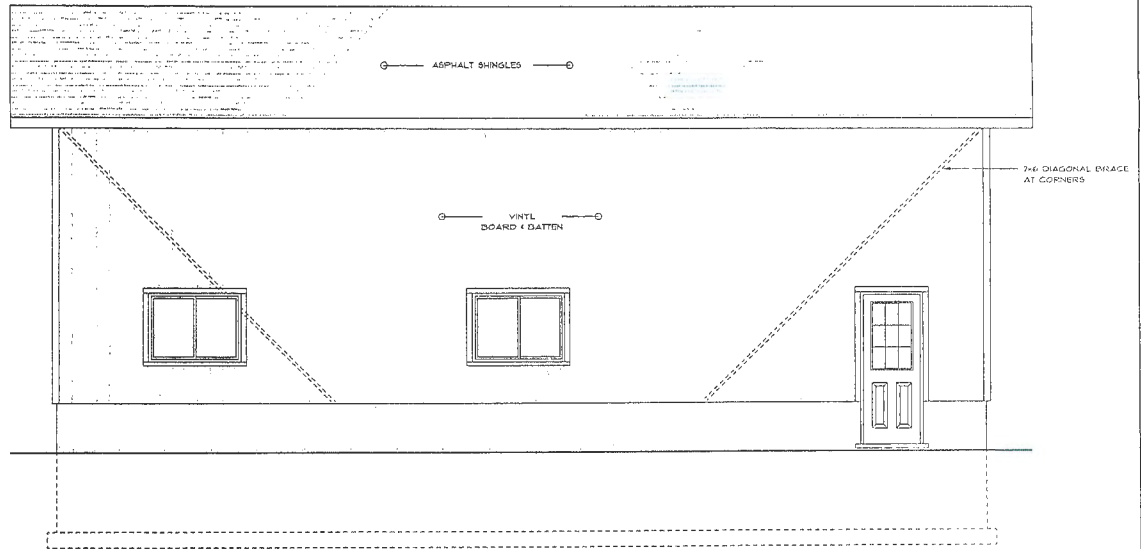
DATE

BROOKVIEW
 DRAFTING & DESIGN

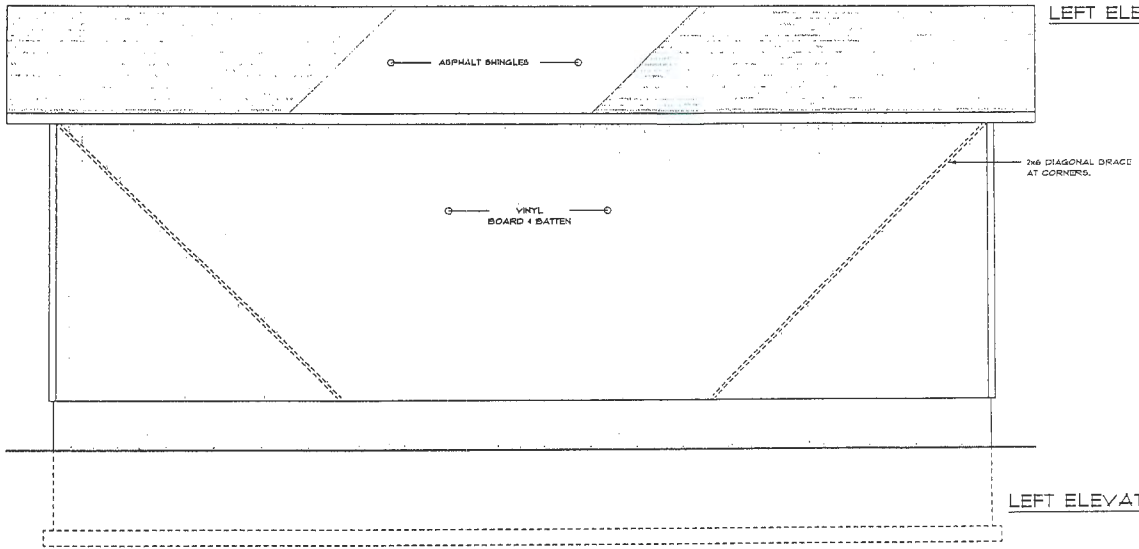
GRAND VALLEY, ONTARIO
 1-519-928-5657

PROJECT NUMBER
 BVII-004

SHEET NUMBER
 1 | 5



RIGHT ELEVATION



LEFT ELEVATION

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 CRAIG RITCHIE BCIN # 20334
 BROOKVIEW DRAFTING & DESIGN BCIN # 38233

- NOTES**
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 - SPECIAL DRAWING AND APPROVALS TO SUIT LOCAL CONDITIONS AND TO CONFORM TO LOCAL MUNICIPAL BY-LAW REMAIN THE RESPONSIBILITY OF THE OWNER
 - DO NOT SCALE - DIMENSIONS GOVERN

CUSTOMER
 DAVE & JOANNE STEVENSON

LOCATION
 EAST / WEST LUTHER TOWNLIN
 WELLINGTON NORTH

DRAWING
 RIGHT / LEFT ELEVATIONS

SCALE
 3/16" = 1'-0"

DATE
 APRIL 2011

DRAWN BY
 C.R.

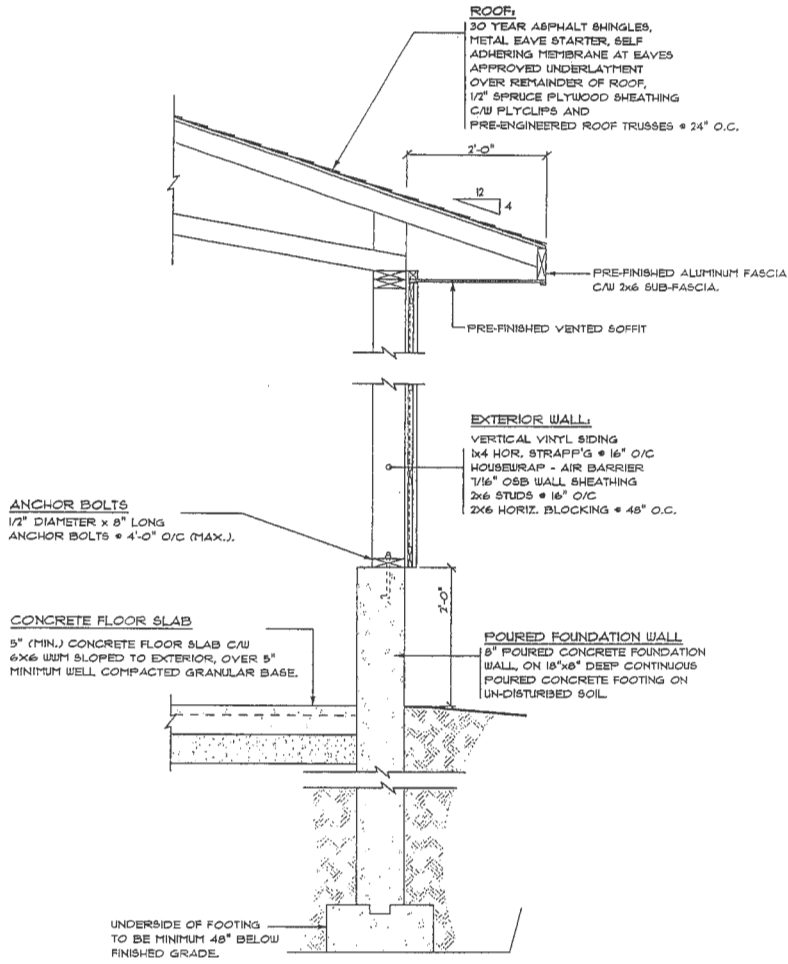
CHECKED BY

DATE

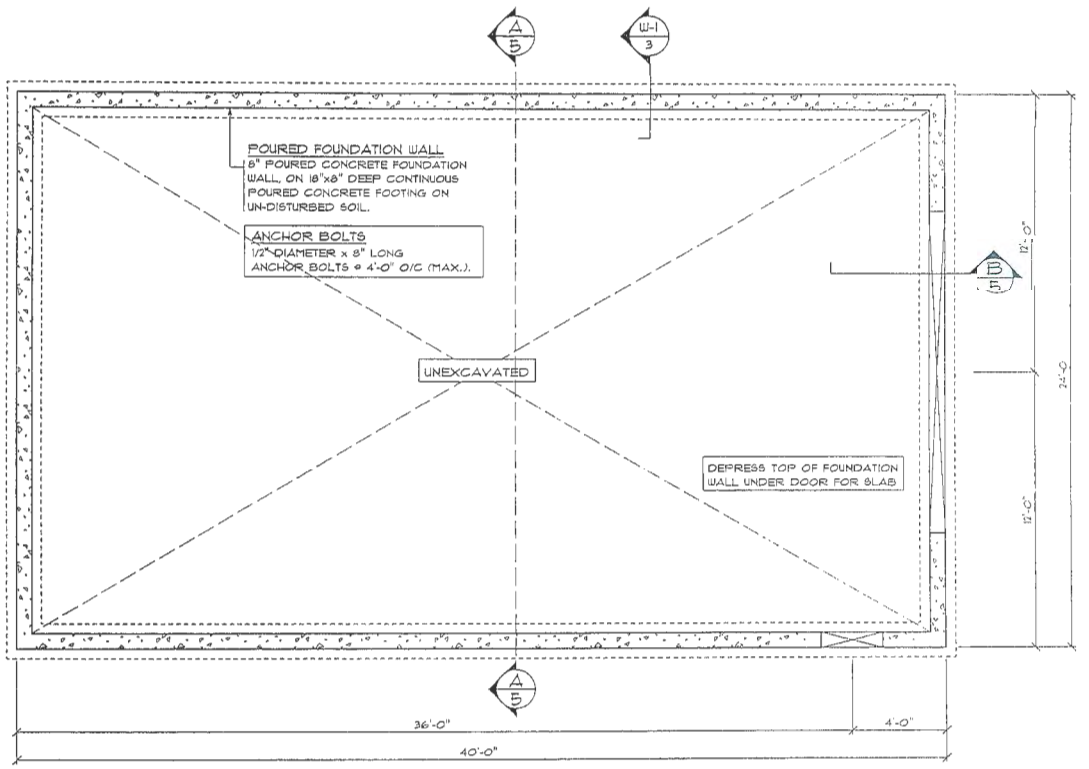
BROOKVIEW
 DRAFTING & DESIGN
 GRAND VALLEY, ONTARIO
 1-519-928-5657

PROJECT NUMBER
 BV11-004

SHEET NUMBER
 2 | 5



W-1
 3
WALL SECTION
 SCALE: 3/4" = 1'-0"

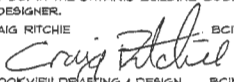


CONCRETE SHALL BE DESIGNED, MIXED,
 PLACED, CURED AND TESTED IN
 ACCORDANCE WITH CAN3-A438-M,
 "CONCRETE CONSTRUCTION FOR
 HOUSING AND SMALL BUILDINGS".
 AFTER 28 DAYS UNREINFORCED
 CONCRETE SHALL HAVE A
 COMPRESSIVE STRENGTH OF
 NOT LESS THAN

(1.) 22 MPa (4650 psi) WITH 5 TO 8%
 AIR ENTRAINMENT FOR GARAGE
 AND CARPORT FLOORS AND ALL
 EXTERIOR FLATWORK.
 (2.) 25 MPa (3600 psi) FOR
 FLOOR-ON-GRADE WHERE NO
 DAMPPROOFING IS PROVIDED.
 (3.) 20 MPa (2900 psi) FOR ALL
 OTHER APPLICATIONS.

FOUNDATION AND FOOTINGS:
FROST FOOTINGS:
 * DROP TOP OF FOUNDATION AND STEP FOOTINGS
 AS REQUIRED BY GRADE (TO BE DETERMINED
 ON SITE BY OTHERS); ENSURE FOOTINGS ARE ON
 UNDISTURBED SOIL AND BELOW FROST LINE (OR
 TO LOCAL BY-LAWS).
 * MAXIMUM 24" VERTICAL RISE FOR STEPPED
 FOOTINGS IN FIRM SOIL CONDITIONS AND
 MAXIMUM 18" FOR SAND OR GRAVEL
 CONDITIONS.
 * MINIMUM 24" HORIZONTAL DISTANCE BETWEEN
 STEPPED FOOTINGS.

BUCK OPENINGS:
 * ALL BUCK OPENINGS PROVIDED AND
 POSITIONED ON SITE.

THE UNDERSIGNED HAS REVIEWED AND TAKES
 RESPONSIBILITY FOR THIS DESIGN, AND HAS THE
 QUALIFICATIONS AND MEETS THE REQUIREMENTS
 SET OUT IN THE ONTARIO BUILDING CODE TO BE
 A DESIGNER.
 CRAIG RITCHIE BCIN # 20334

 BROOKVIEW DRAFTING & DESIGN BCIN # 38233

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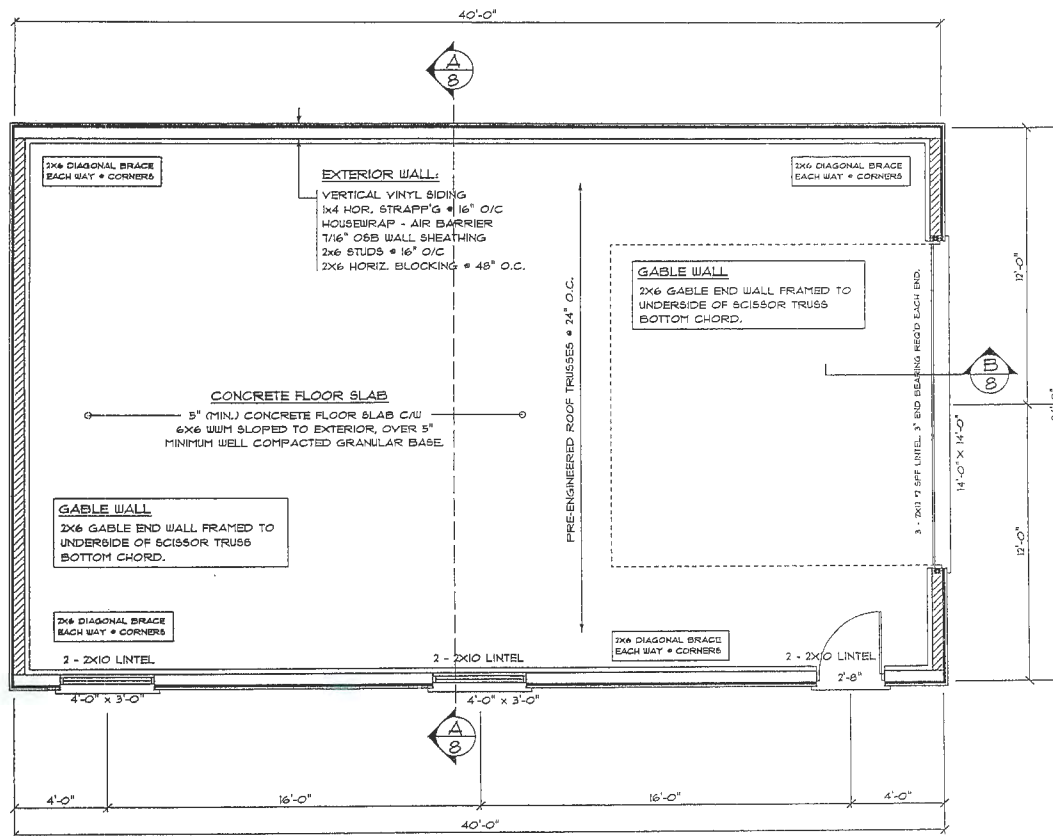
CUSTOMER
 DAVE & JOANNE STEVENSON
 LOCATION
 EAST / WEST LUTHER TOWNSHIP
 WELLINGTON NORTH

DRAWING
 FOUNDATION PLAN
 SCALE
 3/16" = 1'-0"
 DATE
 APRIL 2011
 DRAWN BY
 C.R.

CHECKED BY
 DATE

BROOKVIEW
 DRAFTING & DESIGN
 GRAND VALLEY, ONTARIO
 1-519-928-5657

PROJECT NUMBER
 BV11-004
 SHEET NUMBER
 3 | 5



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CRAIG RITCHIE BCIN # 20334
Craig Ritchie
 BROOKVIEW DRAFTING & DESIGN BCIN # 38233

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- DO NOT SCALE - DIMENSIONS GOVERN

CUSTOMER

DAVE & JOANNE STEVENSON

LOCATION

EAST / WEST LUTHER TOWNLINE
 WELLINGTON NORTH

DRAWING

FLOOR PLAN

SCALE

3/16" = 1'-0"

DATE

APRIL 2011

DRAWN BY

C.R.

CHECKED BY

DATE

BROOKVIEW
 DRAFTING & DESIGN

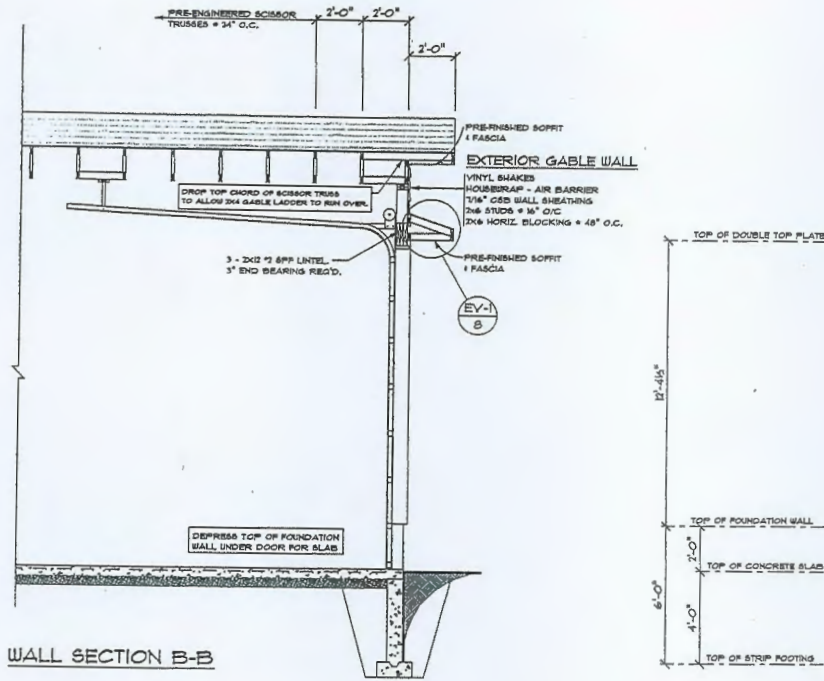
GRAND VALLEY, ONTARIO
 1-519-928-5657

PROJECT NUMBER

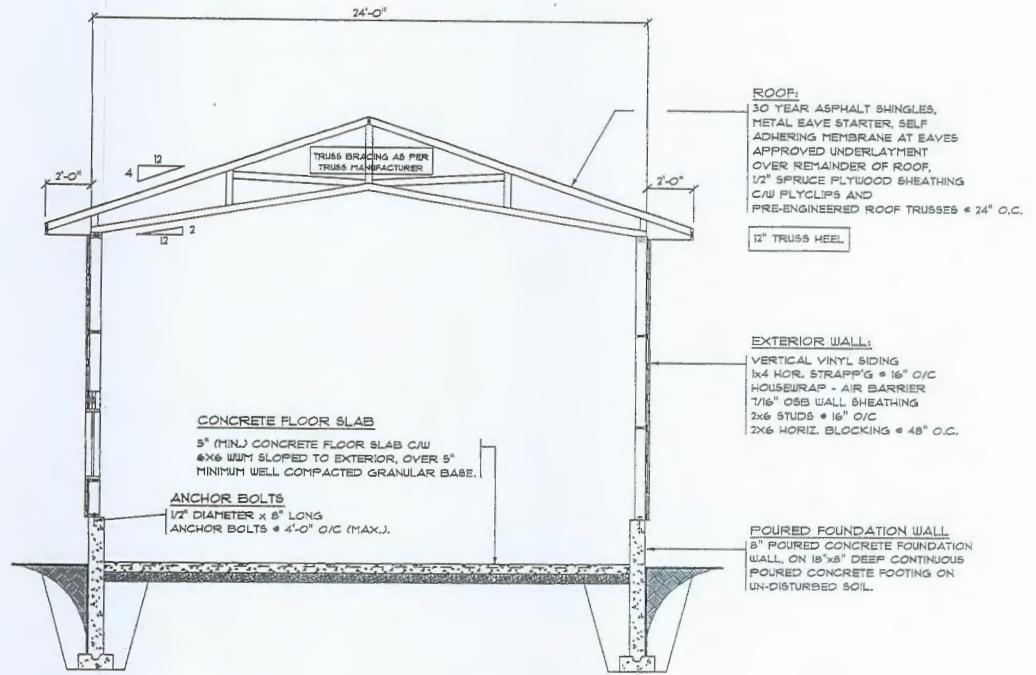
BV11-004

SHEET NUMBER

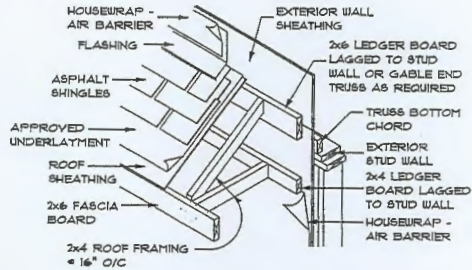
4 | 5



WALL SECTION B-B



CROSS SECTION A-A



EV-1
8
NAIL-ON ROOF RETURN DETAIL
NOT TO SCALE (2.4\"/>

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

CRAIG RITCHIE

 BROOKVIEW DRAFTING & DESIGN BCIN # 38233

NOTES

- PLANS ARE IN ACCORDANCE TO ONTARIO BUILDING CODE REQUIREMENTS
- SPECIAL DRAWING AND APPROVALS TO SUIT LOCAL CONDITIONS AND TO CONFORM TO LOCAL MUNICIPAL BY-LAW RETAIN THE RESPONSIBILITY OF THE OWNER
- DO NOT SCALE - DIMENSIONS GOVERN

CUSTOMER
DAVE & JOANNE STEVENSON

LOCATION
**EAST / WEST LUTHER TOWNSHIP
 WELLINGTON NORTH**

DRAWING
CROSS SECTION A-A

SCALE
 3/16" = 1'-0"

DATE
 APRIL 2011

DRAWN BY
 C.R.

CHECKED BY

DATE

BROOKVIEW
 DRAFTING & DESIGN
 GRAND VALLEY, ONTARIO
 1-519-928-5657

PROJECT NUMBER

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SHEET NUMBER

5 | 5



COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT
GARY A. COUSINS, M.C.I.P., DIRECTOR
TEL: (519) 837-2600
FAX: (519) 823-1694
1-800-663-0750

ADMINISTRATION CENTRE
74 WOOLWICH STREET
GUELPH, ONTARIO
N1H 3T9

August 31, 2012

Mr. Darren Jones, Building Inspector
Township of Wellington North Committee of Adjustment
7490 Sideroad 7 West
Kenilworth, ON N0G 2E0

Dear Mr. Jones,

Re: **Minor Variance Application A3/12**
Part Lot 18, Concession 1 North
8426 East-West Luther Townline
Stevenson

We have reviewed the application for minor variance and provide the following comments.

Planning Opinion: The variances requested would provide relief from section 6.1.3 of the Zoning By-law to allow for an accessory structure which exceeds the height of the main building by 0.53 m. (1.75 ft.). The applicants are submitting this request based on the storage needs of a recreational vehicle.

We have no concerns with the relief requested at this time. The application is minor, would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property.

Wellington County Official Plan: The subject property is designated PRIME AGRICULTURAL in the Official Plan. Section 13.7 of the Plan provides consideration for minor variances provided the general intent of the Official Plan and Zoning By-law are maintained and the variance is minor and desirable for the appropriate development of the land. Consideration shall be given as to whether compliance with the by-law would be unreasonable, undesirable or would pose an undue hardship on the applicant.

Wellington North Zoning By-law: The subject lands are zoned Agricultural (A). The property is currently vacant and was severed in 1989. The applicants are proposing to construct an accessory structure that will be 1.75 ft. higher than the main building (dwelling). Section 6.1.3 of the zoning by-law states that an accessory use must not exceed the height of the main building. As such the following variance has been requested:

1. Relief to allow a proposed accessory structures height to exceed the main building. The accessory structure will have a height of 5.18 m. (17 ft.), whereas the residential dwelling will be 4.65 m. (15.25 ft.).

I trust that these comments will be of assistance to the Committee in their consideration of this matter.

Yours truly,

Linda Redmond B.A.
Planner